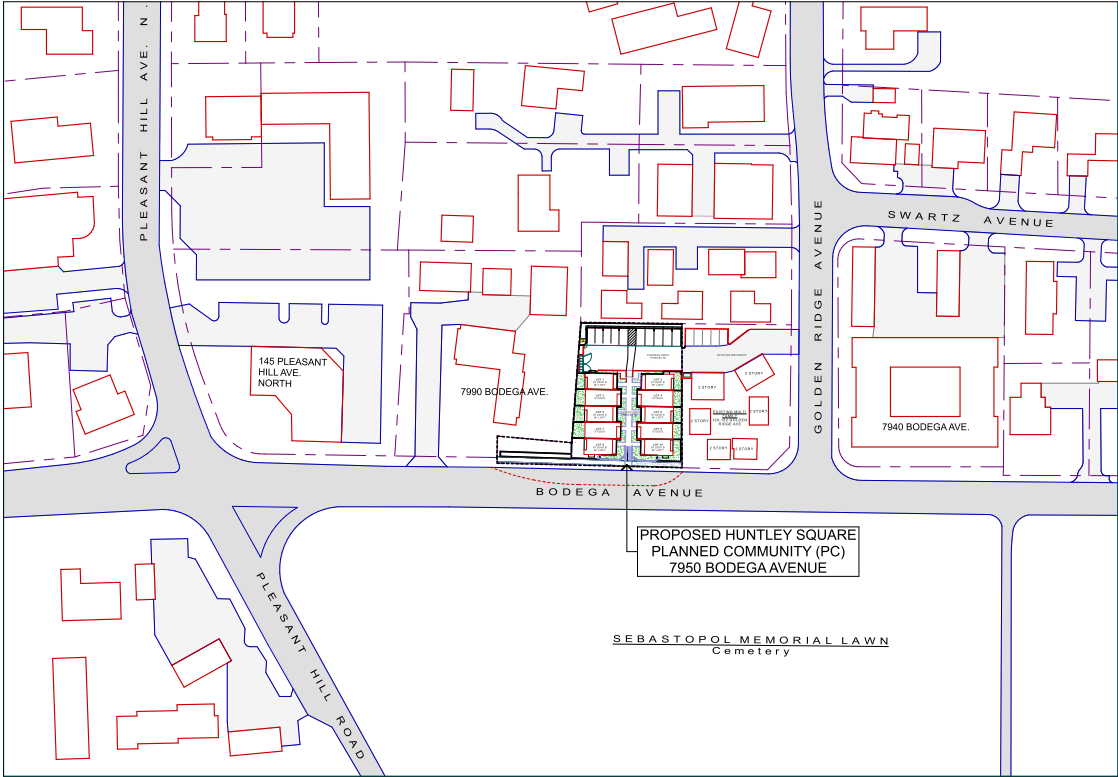


HUNTLEY SQUARE



1 LOCATION MAP
SCALE: 1" = 60'



DRAWING INDEX

- A0 - COVER SHEET
- A0.1 - EXISTING SITE PHOTOS

CIVIL DRAWINGS

- 1 SITE PLAN
- 2 TOPOGRAPHIC MAP
- 3 PROPOSED LOT LINES
- 4 UTILITY PLAN
- 5 GRADING AND DRAINAGE

LANDSCAPE DRAWINGS

- L1 PRELIMINARY LANDSCAPE PLAN

ARCHITECTURAL DRAWINGS

- A1.0 - VICINITY MAP
- A1.1 - SITE PLAN / PRELIMINARY MAP
- A1.2 - LOT LINE DIAGRAM
- A1.3 - RETAINING WALL DETAILS
- A1.4 - AREA DEVELOPMENT MAP

- A2.0 GENERAL FLOOR PLANS
- A2.1 BLDG 1 - FIRST FLOOR
- A2.2 BLDG 1 - SECOND FLOOR
- A2.3 GENERAL ROOF PLAN

- A3.1 EXTERIOR ELEVATION
- A3.2 EXTERIOR ELEVATION
- A3.3 EXTERIOR ELEVATION
- A3.4 CARPORT ELEVATION & SECTIONS



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7950 BODEGA AVE.
SEBASTOPOL, CA 95472
A.P.N. 004-330-024-000

COVER SHEET
LOCATION MAP
DRAWING INDEX

ISSUE/REVISIONS:
REV. 9-10-20

DRAWN BY: AJL
SCALE: AS NOTED

SHEET NO.:
A0
(NEW SHEET)



1 Looking NE across Bodega Ave., toward 120-132 Golden Ridge Ave.



2 Looking NW across Bodega Ave., from intersection @ Golden Ridge Ave.



3 Looking north along east side of 120-132 Golden Ridge Ave.



4 Driveway entrance to parking behind 120-132 Golden Ridge Ave.



5 Looking west behind 120-132 Golden Ridge Ave. to rear of subject parcel



6 Looking NE across Bodega Ave. toward front of site



7 Looking north across Bodega Ave. toward front of site



8 Looking NW across Bodega Ave. toward front of site



9



10



11 Composite panorama of the site



13 Oak tree at west end of site frontage on Bodega Ave.



14 Other oak trees on site frontage on Bodega Ave.



15



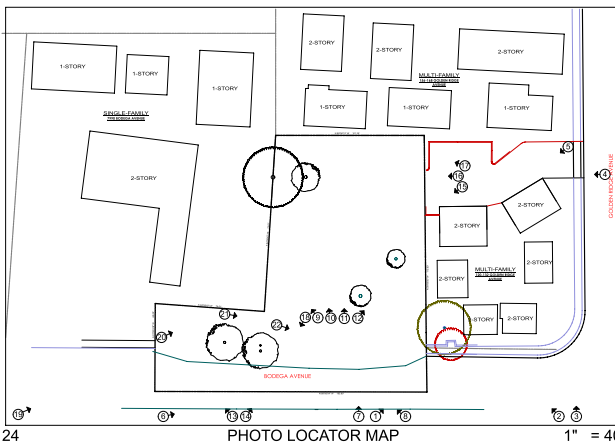
16 Location of proposed vehicle access to on-site parking



17 Western end of neighboring parking, looking into NE corner of site



18 Power pole @ front of site



AERIAL VIEW OF SITE



19 Street frontage & end of sidewalk at 7990 Bodega Ave.



20 Dirt path going up from end of sidewalk at west end of site



21 Dirt path along front fence of 7990 Bodega Ave.



22 Dirt path across front of site



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HUNTLEY SQUARE
MINI HOME VILLAGE
7990 BODEGA AVE.
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A.P.N. 004-330-024-000

INVENTORY
EXISTING SITE
PHOTOS

ISSUE/REVISIONS:

REV. 9-10-20

DRAWN BY:

SCALE: AS NOTED

SHEET NO.:

A0.1

DATE:	Aug 2020
SCALE:	As Shown
DESIGNED:	MBR
DRAWN:	KE
CHECKED:	MBR
PROVISED:	MBR
REVISION:	NO
DATE	NO
REVISION	NO



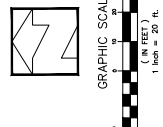
12-15-20
 2900 BETHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405
 Tel 707.523.7490
 E-mail: office@robertsonengineering.net

CALIFORNIA

TOPOGRAPHIC MAP

7950 BODEGA AVE
 SONOMA COUNTY
 SEBASTOPOL

SHEET 2 OF 5
 SHEETS 5
 JOB No. 18165

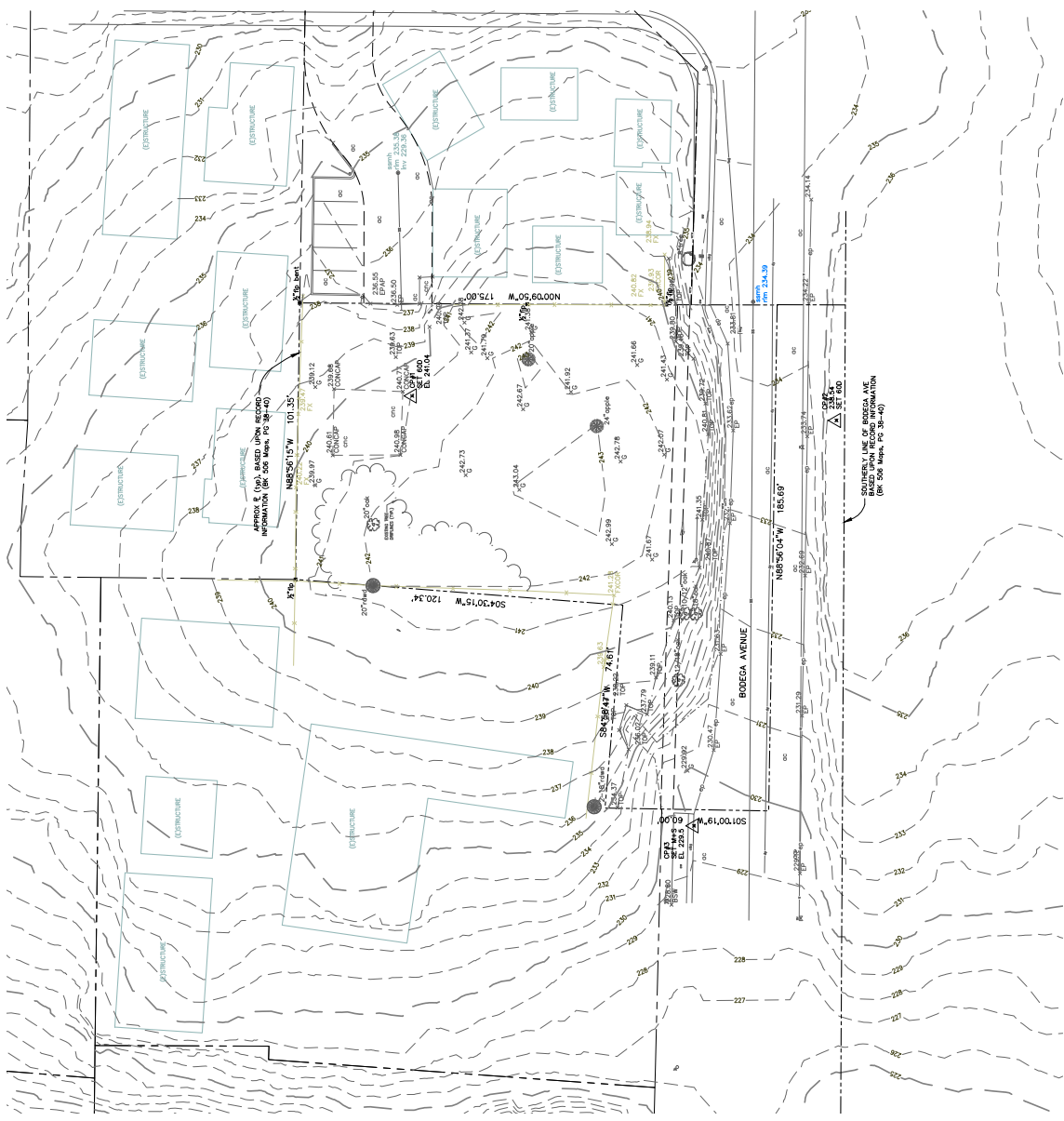


TOPOGRAPHIC NOTES

1. TOPOGRAPHIC SURVEY SHOWN ON PLAN PROVIDED BY KAS. THIS TOPOGRAPHIC SURVEY DOES NOT CONTAIN A SURVEY OF THE BOUNDARY. BOUNDARY INFORMATION SHOWN ON THIS TOPOGRAPHIC SURVEY IS FOR INFORMATION ONLY AND NOT BE CONSIDERED AS FINAL OR ALL INCLUSIVE. (IF ANY) BETWEEN THE RECORD DATA AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.
2. FEATURES, UNDERGROUND FEATURES SHOWN ARE BASED ON RECORD DATA AND FIELD SURVEY DATA. SURVEY DATA IS BASED ON THE PROJECT SITE AND FOUND & SURVEYED ABOVE GROUND FEATURES.
3. COUNTY LINES BEYOND THE PROJECT SITE ARE BASED ON COUNTY LORR DATA.

BENCHMARK

STANDARD STREET MONUMENT AT P.I. OF CURVE
 PLEASANT HILL AVENUE NORTH
 TOP OF MONUMENT = 211.70
 CP 1 ELEVATION = 241.04
 CP 2 ELEVATION = 241.04
 CP 3 ELEVATION = 229.50
 (BASED UPON THE ELEVATIONS FROM THE BODEGA
 FLATS IMPROVEMENT PLANS)



DATE: Aug 2020
 SCALE: As Shown
 DESIGNED: MBR
 DRAWN: KF
 CHECKED: MBR
 PROJECT: MBR
 PROJECT: MBR

NO.	DATE	REVISION
1	8/10/20	ISSUED FOR CITY COMMENTS
2	8/10/20	REVISED PER CITY COMMENTS

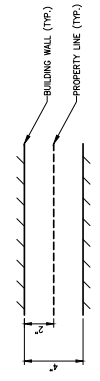
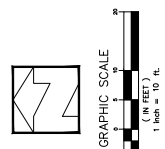
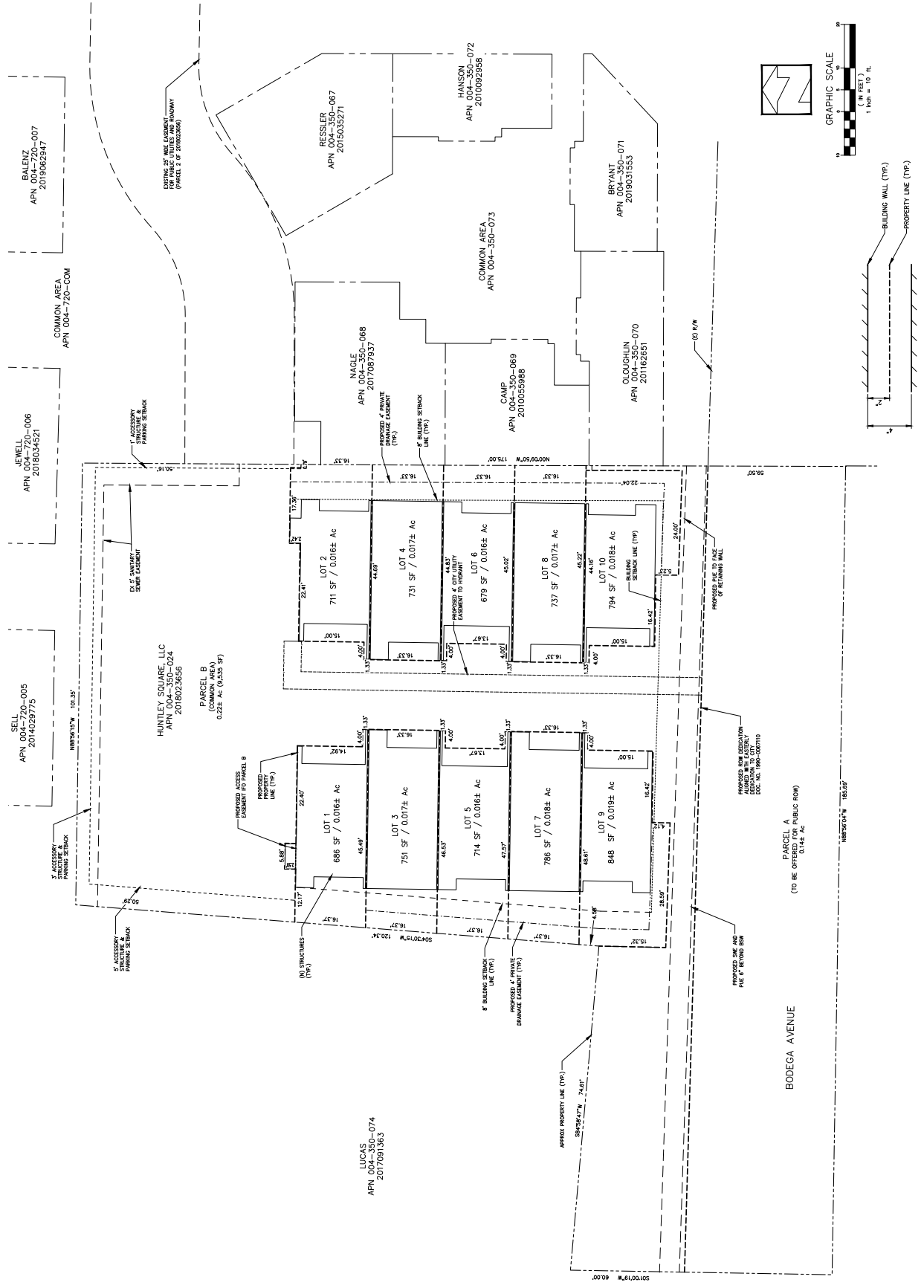


ROBERTSON
 ENGINEERING
 INC.
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 E-MAIL: office@robertsonengineering.net
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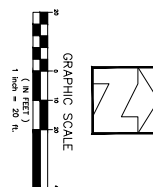
7950 BODEGA AVE
 SONOMA COUNTY
 SEbastopol
 CALIFORNIA

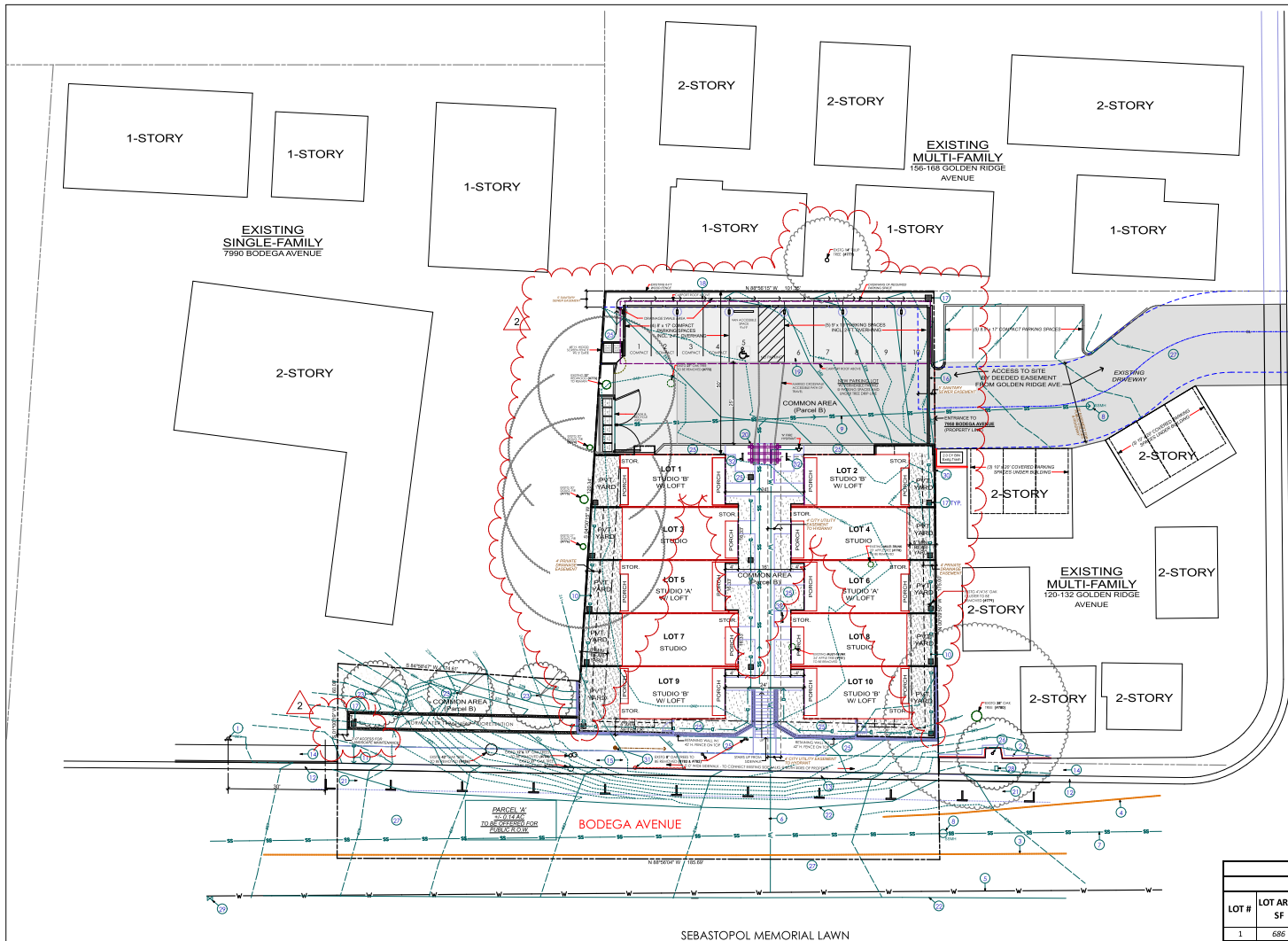
SHEET 3 OF 5
 SHEETS
 JOB No. 18165

PROPOSED LOT LINES



① TYPICAL DETAIL PROP. LINES BETWEEN BUILDINGS





PROJECT DATA (Revised 9-10-20)
APN: 004-330-024

RECORD OWNER AND SUBDIVIDER
Huntley Square LLC
630 Alpark Road, Suite A
Napa, CA 94558

FIRM PREPARING THE DRAWINGS
Healthy Buildings Design Group
630 Alpark Road, Suite A
Napa, CA 94558

OVERALL LOT SIZE PER SURVEY DOCUMENT: 23,070 +/- S.F.
AREA OF LOT TO BE DEED TO CITY: 6,098 +/- S.F.
PROPOSED LOT SIZE: 11,077 +/- S.F. = 25.4 ACRES
PROPOSED UTILITY EASEMENT: 2 x 180' = 925 S.F.

NET LOT SIZE: +/- 0.37 ACRES = 16,047 +/- S.F.

ZONING: R7 = RESIDENTIAL MULTI-FAMILY HIGH DENSITY

ALLOWABLE DENSITY:
12.1 - 25 UNITS / ACRE
0.39 ACRES x 12.1 UNITS/ACRE = 4.7 UNITS (MIN.)
0.39 ACRES x 25 UNITS/ACRE = 9.75 UNITS (MAX.)

STUDIO DENSITY ALLOWABLE: COUNTS AS 1/2 DWELLING UNIT (ALL STUDIOS)
9 UNITS (MIN.)
19 UNITS (MAX.) ALL STUDIOS

PROPOSED DENSITY: 10 STUDIO DWELLING UNITS = 10/39(2) = 12.8 DU/ACRE

MAXIMUM HEIGHT: = 30'-0" **PROPOSED HEIGHT:** = 23'-0"

PARKING REQUIREMENTS: 1 CAR PER STUDIO
TOTAL REQUIRED: 10 PARKING SPACES
TOTAL PROVIDED ON SITE: 10 PARKING SPACES
INCLUDES 1 VAN ACCESSIBLE PARKING SPACE
AND 6 ACCESSIBLE
ADDITIONAL STREET PARKING PROPOSED: 9 CURB SPACES AT FRONTAGE + 1 OTHER

REVISION NOTES 9-10-20

1. TEXT AND NOTE REVISIONS ARE ITALICIZED.
2. DRAWING REVISIONS ARE CLOUDED AND MARKED WITH 'DELTA-2'.

1
A1.0 SUBDIVISION VICINITY MAP
SCALE: 1/16" = 1'-0"
0 1/2" 1" 2"

KEYNOTES (Not all notes are used on every sheet.)

- | | | | |
|---|--|--|---|
| 1. EXISTING FIRE HYDRANT. | 9. PROPOSED SEWER LATERAL. | 17. PROPOSED CATCH BASIN (OF DRAINAGE INLET). | 25. PROPOSED LANDSCAPE PLANTING. |
| 2. EXISTING WOOD REMAINING WALL. | 10. PROPOSED STORM DRAIN (SD). | 18. PROPOSED DRAINAGE SWALE. | 26. EXISTING TREE (IF). |
| 3. EXISTING DOUBLE YELLOW LINE. | 11. DRAIN OUTFALL AT GUTTER. | 19. PROPOSED CANTILEVERED CARPORT ROOF STRUCTURE. | 27. EXISTING AC PAVING. |
| 4. EXISTING PAINTED FOG LINE. | 12. EXISTING CURB AND GUTTER (C&G). | 20. PROPOSED TRELLIS. | 28. EXISTING WATER METER. |
| 5. EXISTING WATER MAIN (WM). | 13. PROPOSED CURB AND GUTTER (C&G). | 21. PROPOSED PARALLEL PARKING: 18 SPACES AT 8' x 22' EA. | 29. EXISTING WATER VALVE. |
| 6. PROPOSED WATER SERVICE LINE. | 14. EXISTING SIDEWALK 5' WIDE. | 22. EXISTING EDGE OF PAVEMENT (EP). | 30. PROPOSED 48" H. RETAINING WALL. |
| 7. EXISTING SANITARY SEWER (SS) APPROX. CENTERLINE. | 15. PROPOSED SIDEWALK TO MATCH EXISTING. | 23. EXISTING NATIVE OAK TREE. | 31. RELOCATE EXISTING UTILITY POLE & GUY TO SIDEWALK LEVEL. |
| 8. EXISTING SANITARY SEWER MANHOLE (SSMH). | 16. PROPOSED TRENCH DRAIN. | 24. N/A. | 32. BIKE RACK FOR TWO BICYCLES. |

SYMBOL LEGEND

- | | |
|-----|---------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING CONTOUR LINE TO REMAIN |
| --- | EXISTING CONTOUR TO BE CHANGED |
| --- | PROPOSED GRADING CONTOUR |

HUNTLEY SQUARE									
LOT & UNIT AREA CALCULATIONS (Revised 9-10-20)									
LOT #	LOT AREA SF	Lot Coverage SF	Lot Coverage %	UNIT TYPE	UNIT FLOOR AREA SF	Private Yard	+ Back Porch	Private Open Space	
1	686	434	63%	STUDIO W/ LOFT	599	5F	133	27	160
2	711	434	61%	STUDIO W/ LOFT	599	5F	150	27	177
3	751	519	69%	STUDIO	519	5F	162	0	162
4	731	519	71%	STUDIO	519	5F	140	0	140
5	714	434	61%	STUDIO W/ LOFT	599	5F	170	27	197
6	679	434	64%	STUDIO W/ LOFT	599	5F	122	27	159
7	786	519	66%	STUDIO	519	5F	196	0	196
8	737	519	70%	STUDIO	519	5F	142	0	142
9	848	434	51%	STUDIO W/ LOFT	599	5F	328	27	355
10	794	434	55%	STUDIO W/ LOFT	599	5F	274	27	301
TOTAL	7,437	4680	63%	Average	5670	5F	1827	162	1989

PARCEL B - COMMON AREA CALCULATIONS			
AREA #	DESCRIPTION	AREA SF	ACRES
Common Area B1	Resident parking & trash	5,075	0.12
Common Area B2	Courtyard + retaining wall	2,169	0.05
Common Area B3	Landscaped embankment	1,366	0.03
Common Area B4	Utility easement	925	0.02
TOTAL		9,535	0.22



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HUNTLEY SQUARE
MINI HOME VILLAGE
7950 BODEGA AVE.
SEBASTOPOL, CA 95472
APN: 004-330-024-000

PROPOSED SUBDIVISION
VICINITY MAP

ISSUE/REVISIONS:
2-7-19, rev. 8-22-19
REV. 9-17-19, 11-12-19
REV. 5-14-20
REV. 9-10-20

DRAWN BY: AJL
SCALE: 1/16" = 1'-0"

SHEET NO.:

A1.0

2

PRELIMINARY SUBDIVISION PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES (Not all notes are used on every sheet.)

- EXISTING FIRE HYDRANT
- EXISTING WOOD FENCING WALL
- EXISTING DOUBLE YELLOW LINE
- EXISTING PAINTED FOG LINE
- EXISTING WATER MAIN (W)
- PROPOSED WATER SERVICE LINE
- EXISTING SANITARY SEWER (SS), APPROX. CENTERLINE
- EXISTING SANITARY SEWER MANHOLE (SSMH)
- PROPOSED SEWER LATERAL
- PROPOSED STORM DRAIN (SD)
- DRAIN OUTFALL AT GUTTER
- EXISTING CURB AND GUTTER (C&G)
- PROPOSED CURB AND GUTTER (C&G)
- EXISTING SIDEWALK, 5' WIDE
- PROPOSED SIDEWALK TO MATCH EXISTING
- PROPOSED FRENCH DRAIN
- PROPOSED CATCH BASIN (CB), DRAINAGE INLET
- PROPOSED DRAINAGE SWALE
- PROPOSED CANTILEVERED CARPORT ROOF STRUCTURE
- PROPOSED TRELLIS
- PROPOSED PARALLEL PARKING, 10 SPACES AT 8' x 22' EA
- EXISTING EDGE OF PAVEMENT (EP)
- PROPOSED NATIVE OAK TREE
- N/A
- PROPOSED LANDSCAPE PLANTING
- EXISTING TREE (T)
- EXISTING AC PLANTING
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED 42" H. RETAINING WALL
- RELIEVE POSSIBILITY POLE & CUT
- BIKE RACK PARKING FOR (2) BICYCLES

SYMBOL LEGEND

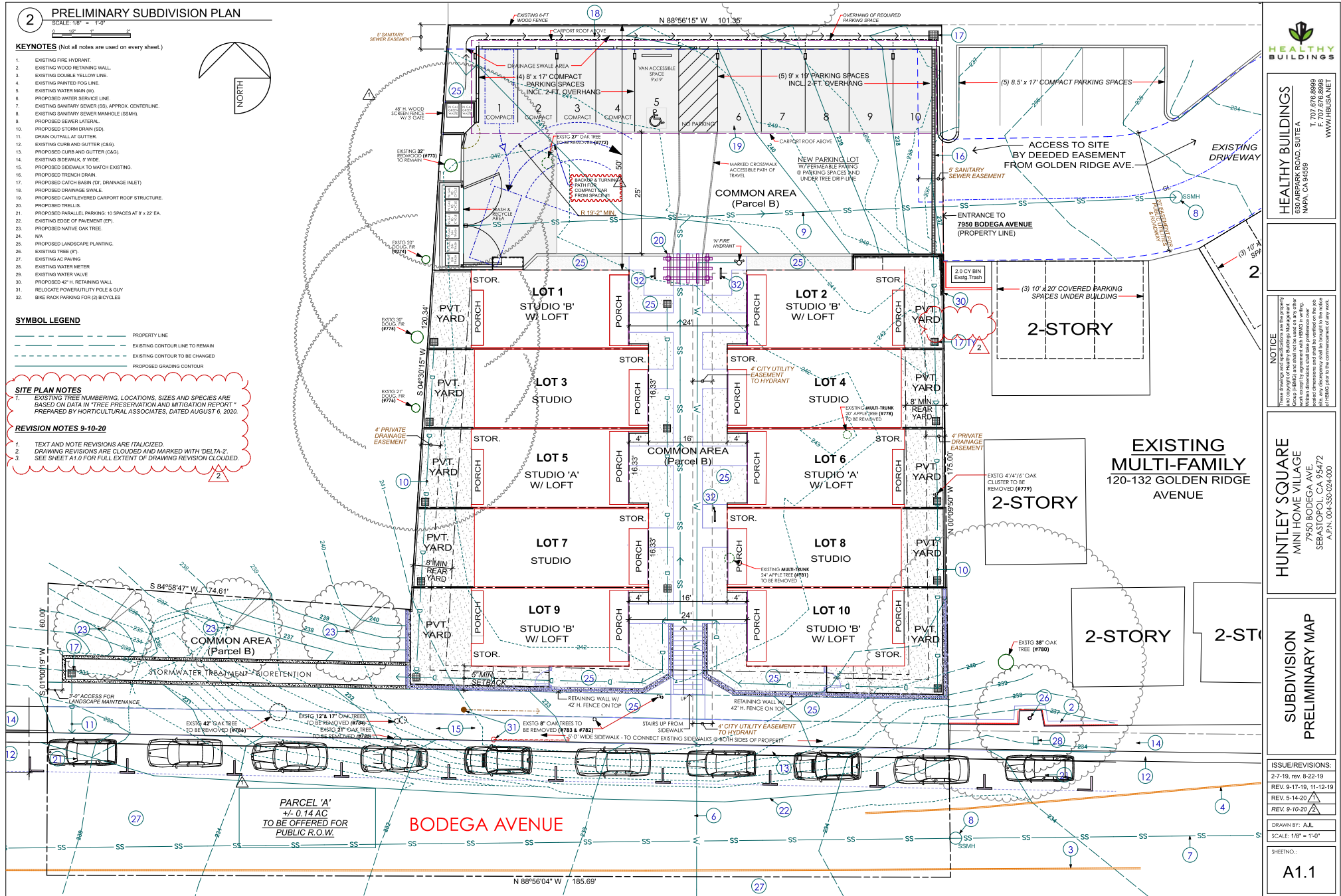
- PROPERTY LINE
- EXISTING CONTOUR LINE TO REMAIN
- EXISTING CONTOUR TO BE CHANGED
- PROPOSED GRADING CONTOUR

SITE PLAN NOTES

- EXISTING TREE NUMBERING, LOCATIONS, SIZES AND SPECIES ARE BASED ON DATA IN "TREE PRESERVATION AND MITIGATION REPORT" PREPARED BY HORTICULTURAL ASSOCIATES, DATED AUGUST 6, 2020.

REVISION NOTES 9-10-20

- TEXT AND NOTE REVISIONS ARE ITALICIZED.
- DRAWING REVISIONS ARE CIRCLED AND MARKED WITH "DELTA-2". SEE SHEET A1.0 FOR FULL EXTENT OF DRAWING REVISION CLOUDED.



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A.P.N. 004-530-024-000

SUBDIVISION
PRELIMINARY MAP

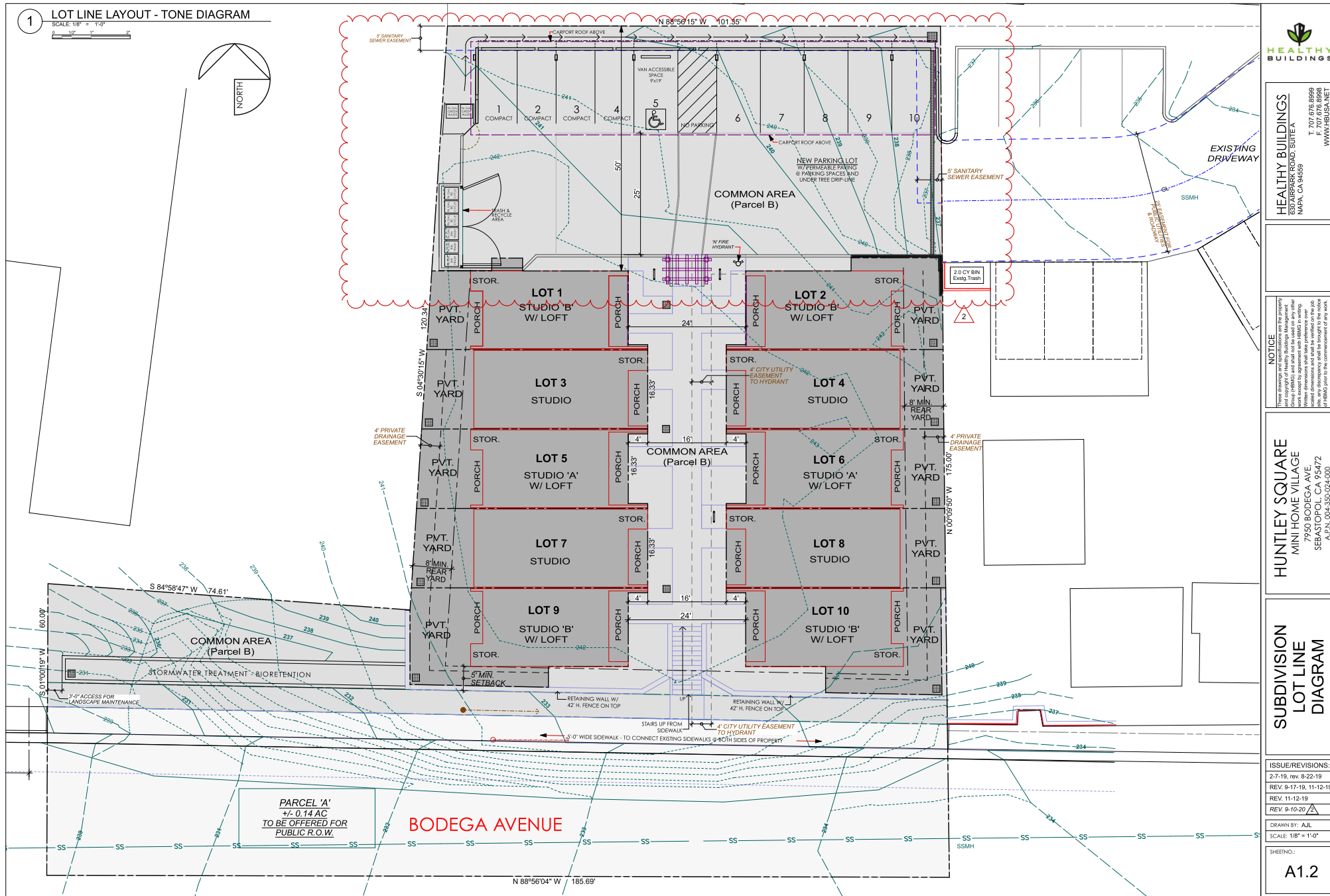
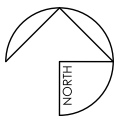
ISSUE/REVISIONS:
2-7-19, rev. 8-22-19
REV. 9-17-19, 11-12-19
REV. 5-14-20
REV. 9-10-20

DRAWN BY: AJL
SCALE: 1/8" = 1'-0"

SHEET NO.:
A1.1

1 LOT LINE LAYOUT - TONE DIAGRAM

SCALE: 1/8" = 1'-0"



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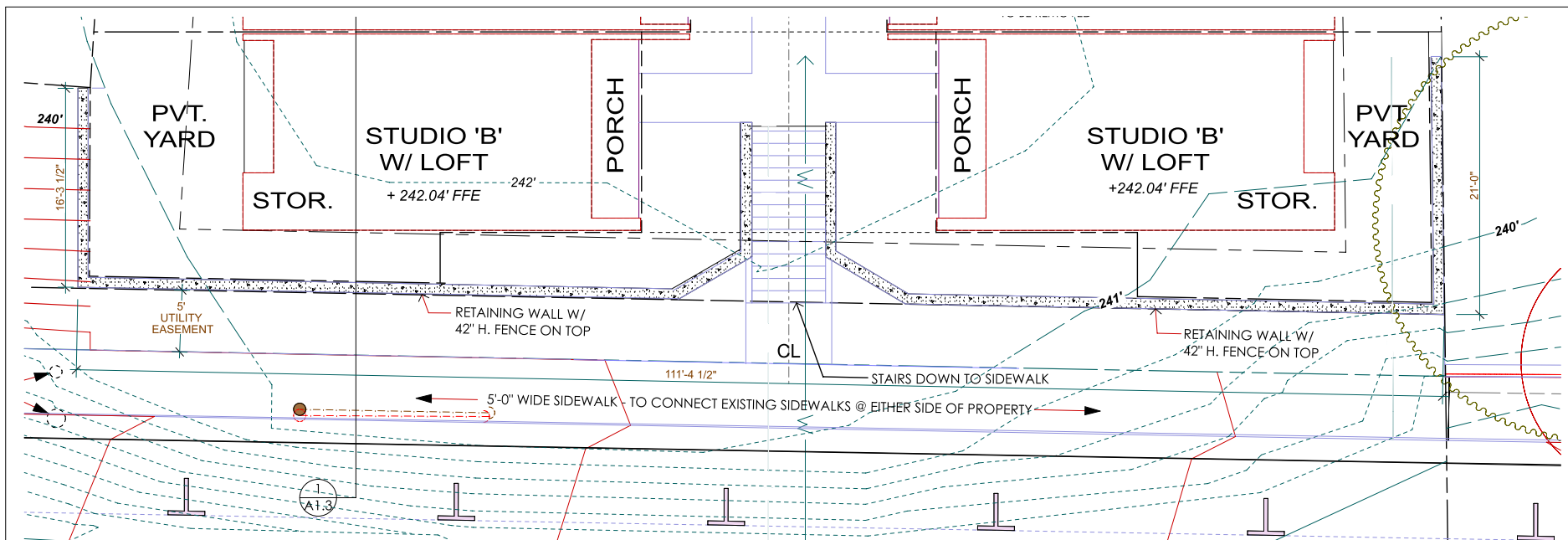
HUNTLEY SQUARE
 MINI HOME VILLAGE
 7950 BODEGA AVE.
 SEBASTOPOL, CA 95472
 A.P.N. 004-330-024-000

SUBDIVISION LOT LINE DIAGRAM

ISSUE/REVISIONS:
 2-7-19, rev. 8-22-19
 REV. 9-17-19, 11-12-19
 REV. 11-12-19
 REV. 9-10-20

DRAWN BY: AJL
SCALE: 1/8" = 1'-0"

SHEET NO.:
A1.2

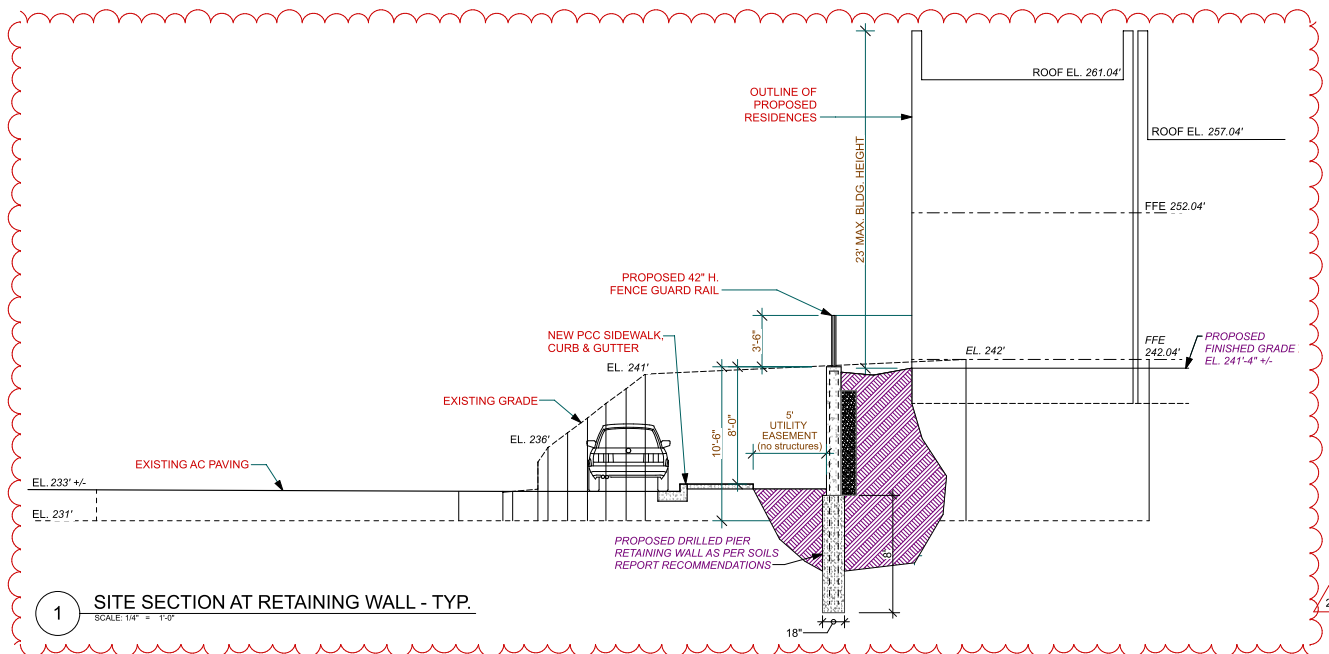


2 SITE PLAN DETAIL AT RETAINING WALL
SCALE: 1/4" = 1'-0"

REVISION NOTES 9-10-20

1. TEXT AND NOTE REVISIONS ARE ITALICIZED.
2. DRAWING REVISIONS ARE CLOUDED AND MARKED WITH "DELTA-2".
3. SEE SHEET A1.0 FOR FULL EXTENT OF DRAWING REVISION CLOUDED.

2



1 SITE SECTION AT RETAINING WALL - TYP.
SCALE: 1/4" = 1'-0"



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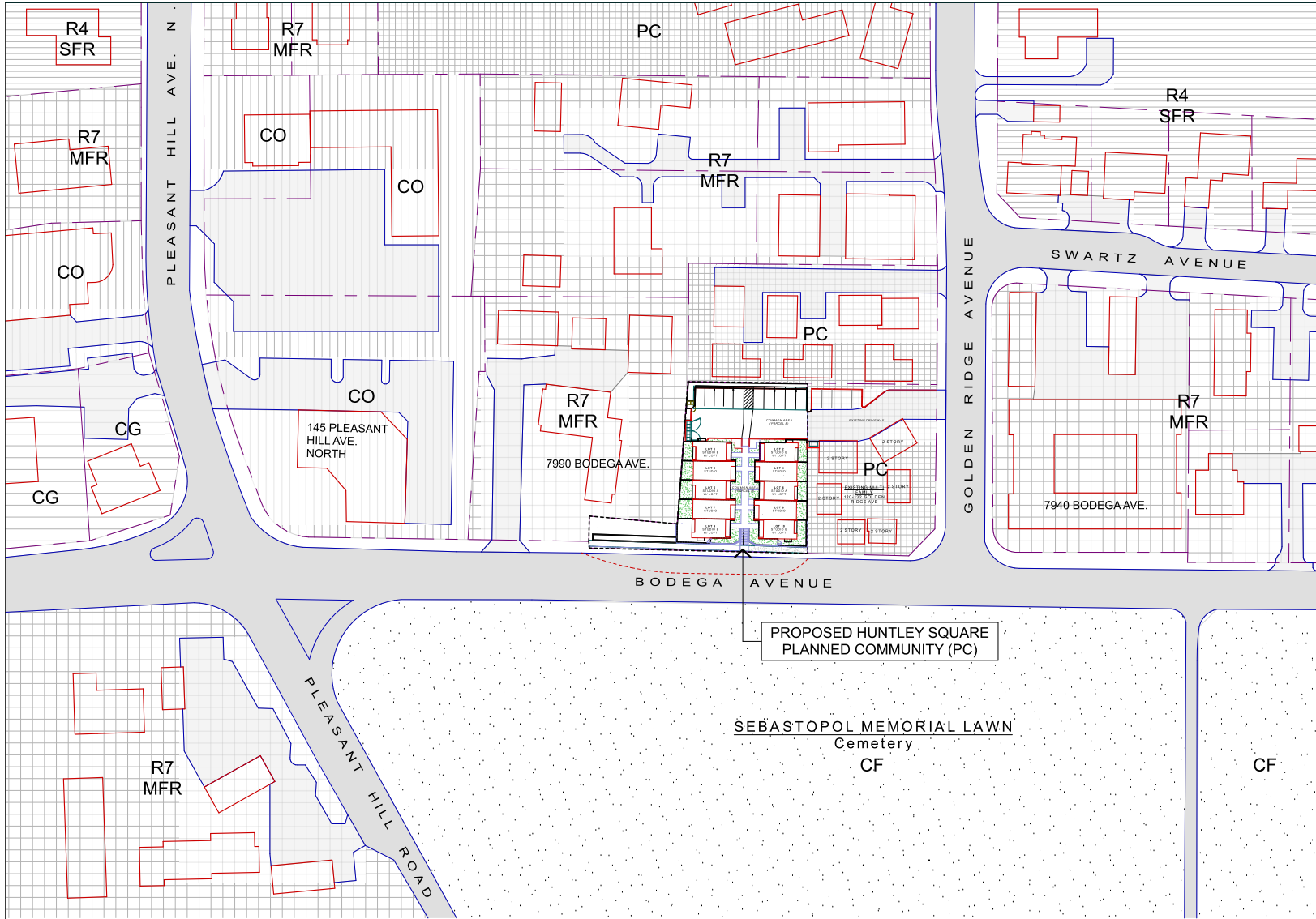
HUNTLEY SQUARE
MINI HOME VILLAGE
7950 BODEGA AVE.
SEBASTOPOL, CA 95472
A.P.N. 004-330-024-000

SITE DEVELOPMENT:
RETAINING WALL
DETAILS

ISSUE/REVISIONS:
2-7-19, rev. 8-22-19
REV. 9-17-19
REV. 11-12-19
REV. 9-10-20

DRAWN BY: A.J.L.
SCALE: 1/4" = 1'-0"

SHEET NO.:
A1.3



SYMBOL LEGEND

	R4 - SINGLE FAMILY RESIDENTIAL Land Use - Medium Density Residential
	R7 - MULTI-FAMILY RESIDENTIAL Land Use - High Density Residential
	PC - PLANNED COMMUNITY Land Use - High Density Residential
	CO - OFFICE COMMERCIAL Land Use - Commercial Office
	CG - GENERAL COMMERCIAL Land Use - Commercial Office
	CF - COMMUNITY FACILITY Land Use - Community Facility

NOTES

1. Land use designation is according to General Plan Land Use Map.



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SEBASTOPOL, CA 95472
APN: 004-330-024-000

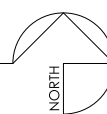
**AREA
DEVELOPMENT
MAP**

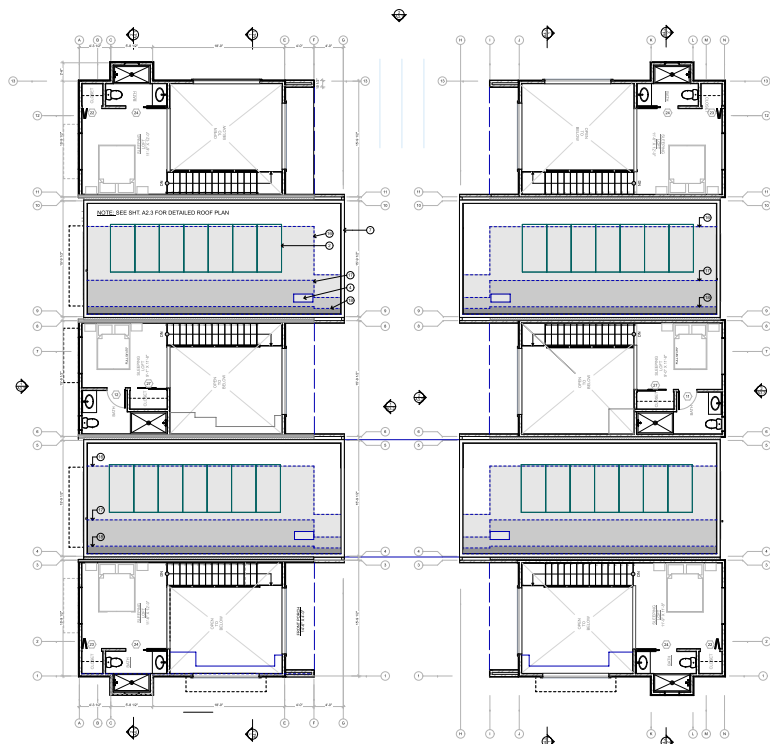
ISSUE/REVISIONS:
REV. 9-10-20

DRAWN BY: AJL
SCALE: AS NOTED

SHEET NO.:
A1.4
(NEW SHEET)

1 **AREA DEVELOPMENT PLAN**
SCALE: 1" = 40'



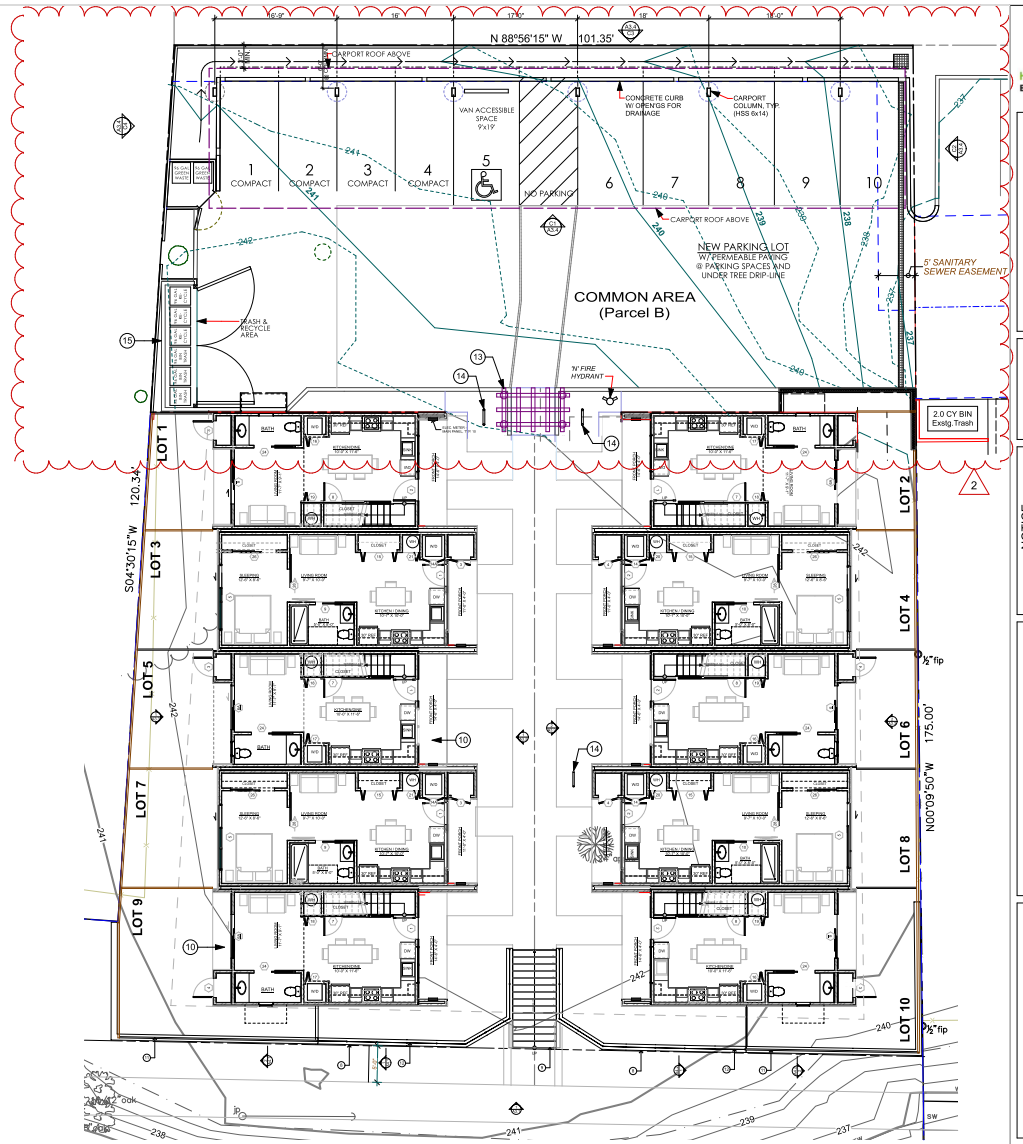


2
A2.0 GENERAL 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES - PLAN (NOT ALL NOTES USED ON EVERY SHEET)

- | | | |
|--|---|--|
| 1. SOLAR PANELS MOUNTED AT ROOF LEVEL | 7. GSM COPING, TYP. | 13. TRELLIS |
| 2. SOLAR PANELS MOUNTED ON ELEVATED RACKS | 8. CONCRETE RETAINING WALL | 14. BICYCLE RACK FOR TWO BICYCLES |
| 3. N/A | 9. CONCRETE FRONT STEPS | 15. TRASH AND RECYCLING ENCLOSURE |
| 4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. | 10. CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.) | 16. SUN SHADOW AT 12:00 NOON DEC. 21 |
| 5. RAINWATER OVERFLOW SCUPPER | 11. 5-FOOT TALL WOOD PRIVACY FENCE | 17. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21 |
| 6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE | 12. 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL | 18. SUN SHADOW AT 12:00 NOON JUNE 21 |



1
A2.0 GENERAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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MINI HOME VILLAGE
7950 BODEGA AVE.
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A.P.N. 004-330-024-000

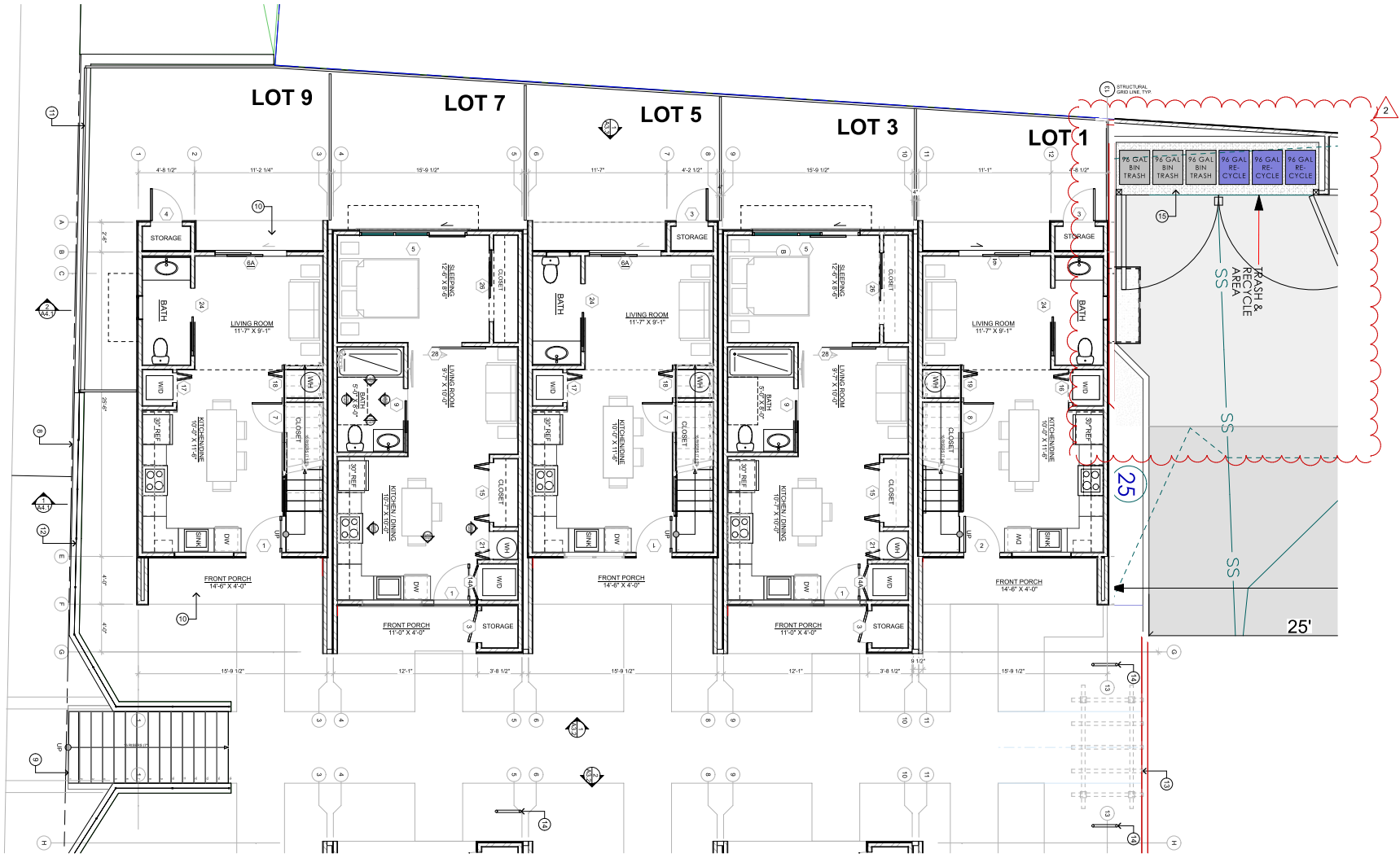
GENERAL FLOOR PLANS

ISSUE/REVISIONS:
11-12-19
REV. 9-10-20

DRAWN BY: ETR, A/E
SCALE: 1/8" = 1'-0"

SHEET NO.:

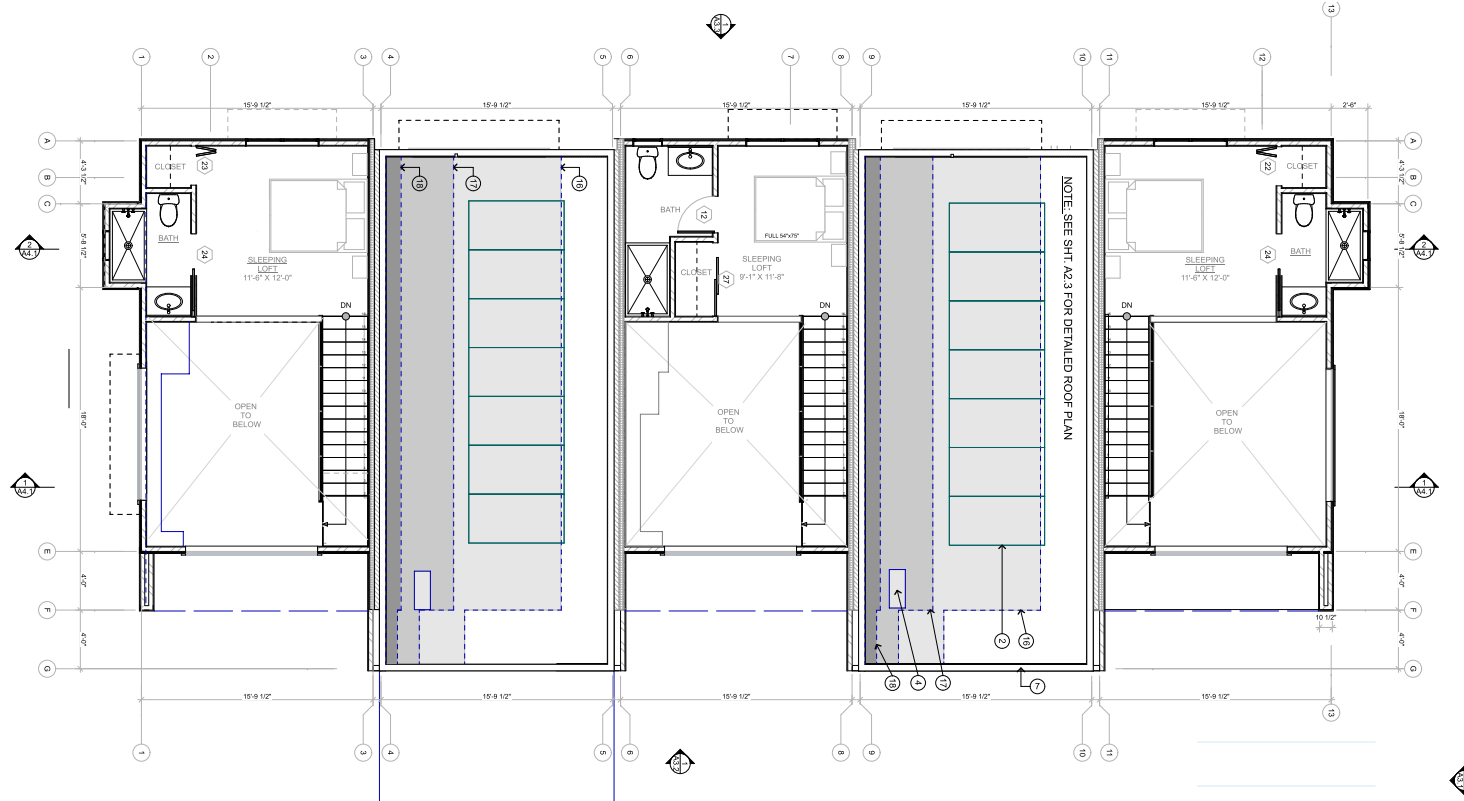
A2.0



1 1st FLOOR PLAN - BUILDING 1
SCALE: 1/4" = 1'-0"

KEYNOTES - PLAN (NOT ALL NOTES USED ON EVERY SHEET)

- | | | |
|--|---|--|
| 1. SOLAR PANELS MOUNTED AT ROOF LEVEL | 7. GSM COPING, TYP. | 13. TRELLIS |
| 2. SOLAR PANELS MOUNTED ON ELEVATED RACKS | 8. CONCRETE RETAINING WALL | 14. BICYCLE RACK FOR TWO BICYCLES |
| 3. N/A | 9. CONCRETE FRONT STEPS | 15. TRASH AND RECYCLING ENCLOSURE |
| 4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. | 10. CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.) | 16. SUN SHADOW AT 12:00 NOON DEC. 21 |
| 5. RAINWATER OVERFLOW SCUPPER | 11. 5-FOOT TALL WOOD PRIVACY FENCE | 17. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21 |
| 6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE | 12. 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL | 18. SUN SHADOW AT 12:00 NOON JUNE 21 |



1 2ND FLOOR PLAN - BUILDING 1 (Building 2 similar)
SCALE: 1/4" = 1'-0"

KEYNOTES - PLAN (NOT ALL NOTES USED ON EVERY SHEET)

- | | | |
|--|---|--|
| 1. SOLAR PANELS MOUNTED AT ROOF LEVEL | 7. GSM COPING, TYP. | 13. TRELLIS |
| 2. SOLAR PANELS MOUNTED ON ELEVATED RACKS | 8. CONCRETE RETAINING WALL | 14. BICYCLE RACK FOR TWO BICYCLES |
| 3. N/A | 9. CONCRETE FRONT STEPS | 15. TRASH AND RECYCLING ENCLOSURE |
| 4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. | 10. CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.) | 16. SUN SHADOW AT 12:00 NOON DEC. 21 |
| 5. RAINWATER OVERFLOW SCUPPER | 11. 5-FOOT TALL WOOD PRIVACY FENCE | 17. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21 |
| 6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE | 12. 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL | 18. SUN SHADOW AT 12:00 NOON JUNE 21 |



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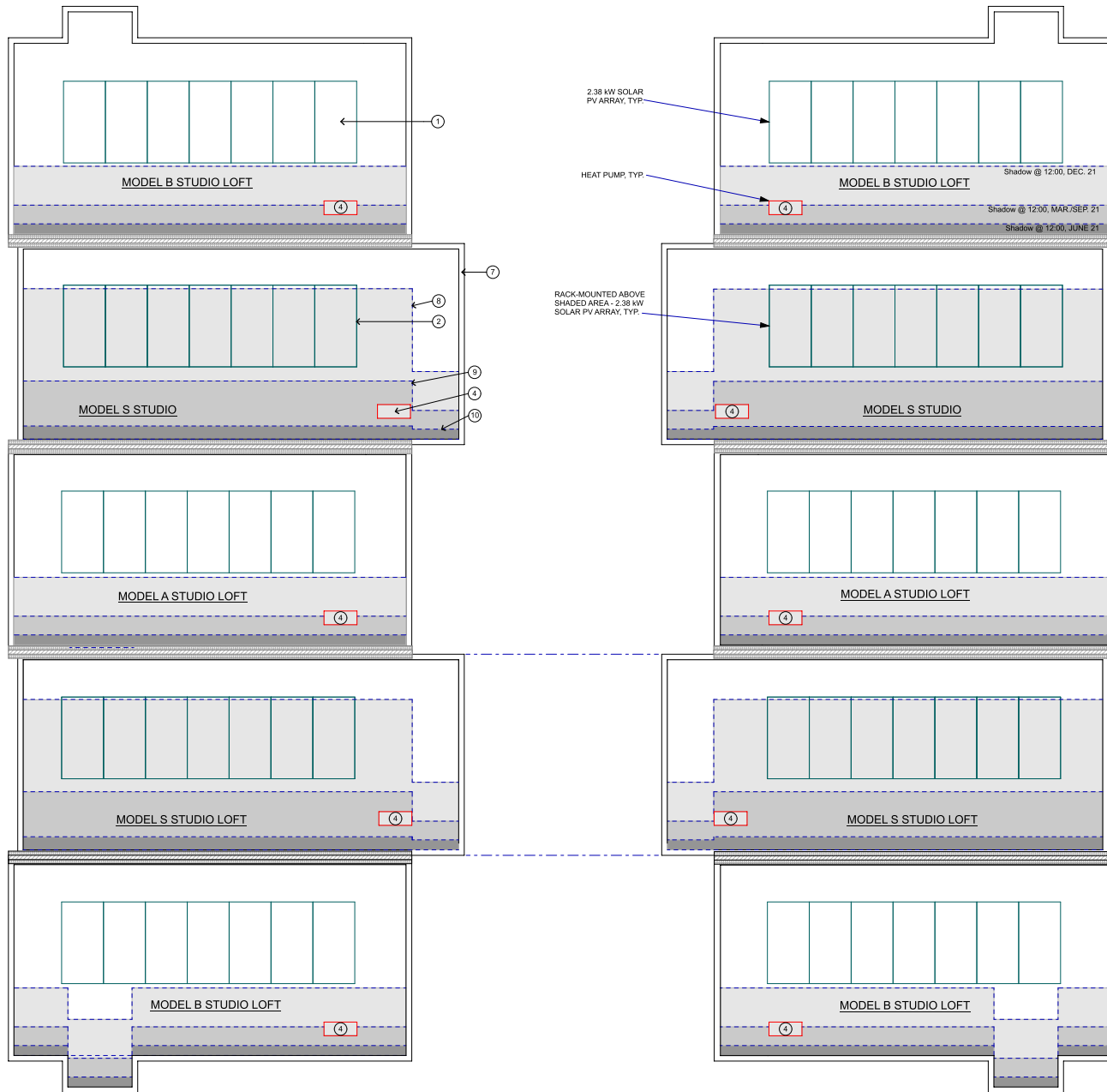
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2ND FLOOR PLAN
BUILDING 1

ISSUE/REVISIONS:
11-12-19
REV 9-10-20

DRAWN BY: ETR, A/E
SCALE: 1/4" = 1'-0"

SHEET NO.:
A2.2



KEYNOTES - PLAN (NOT ALL NOTES USED ON EVERY SHEET)

1. SOLAR PANELS MOUNTED AT ROOF LEVEL
2. SOLAR PANELS MOUNTED ON ELEVATED RACKS
3. N/A
4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP.
5. RAINWATER OVERFLOW SCUPPER
6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE
7. GSM COPING, TYP.
8. SUN SHADOW AT 12:00 NOON DEC. 21
9. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21
10. SUN SHADOW AT 12:00 NOON JUNE 21



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GENERAL ROOF PLAN

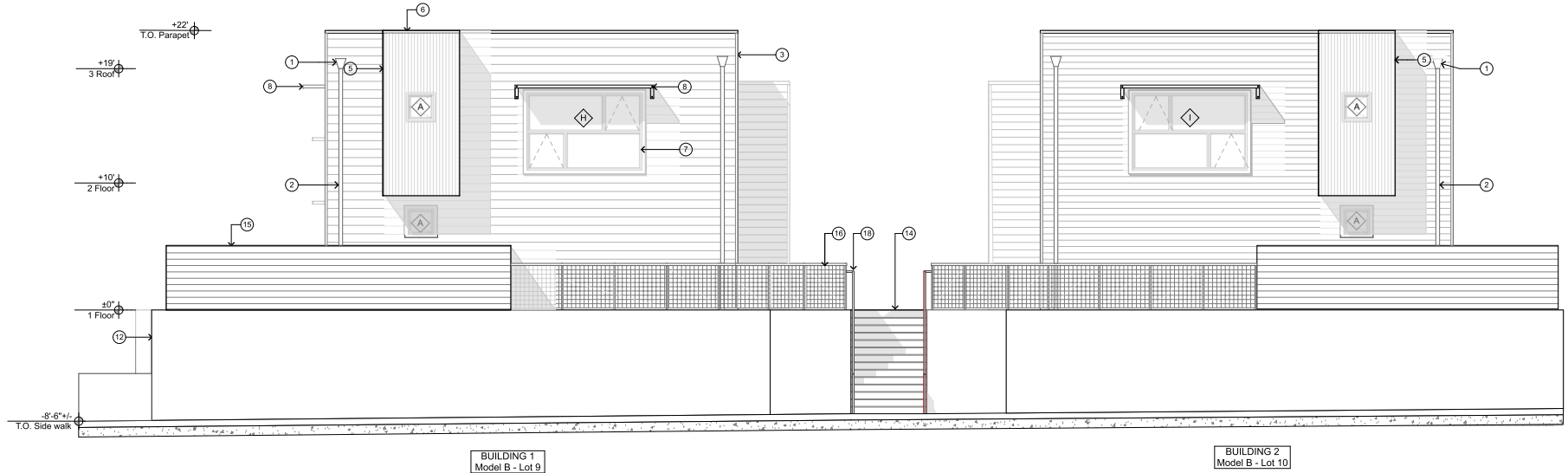
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DRAWN BY: ETR, AIL
SCALE: 1/4" = 1'-0"

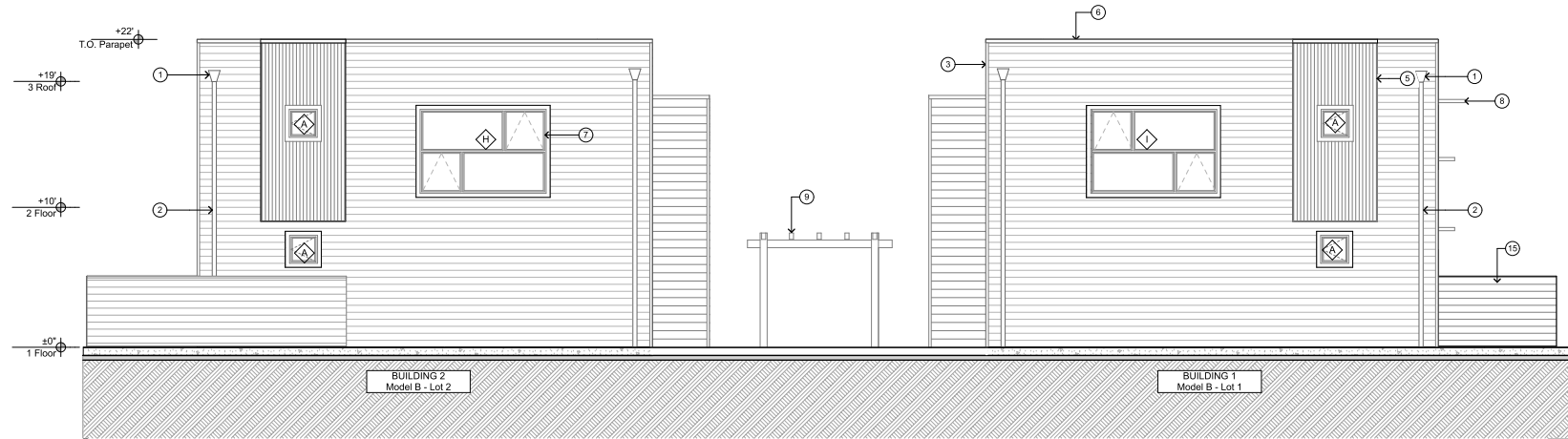
SHEET NO.:

A2.3

1
A2.3
GENERAL ROOF PLAN
SCALE: 1/4" = 1'-0"



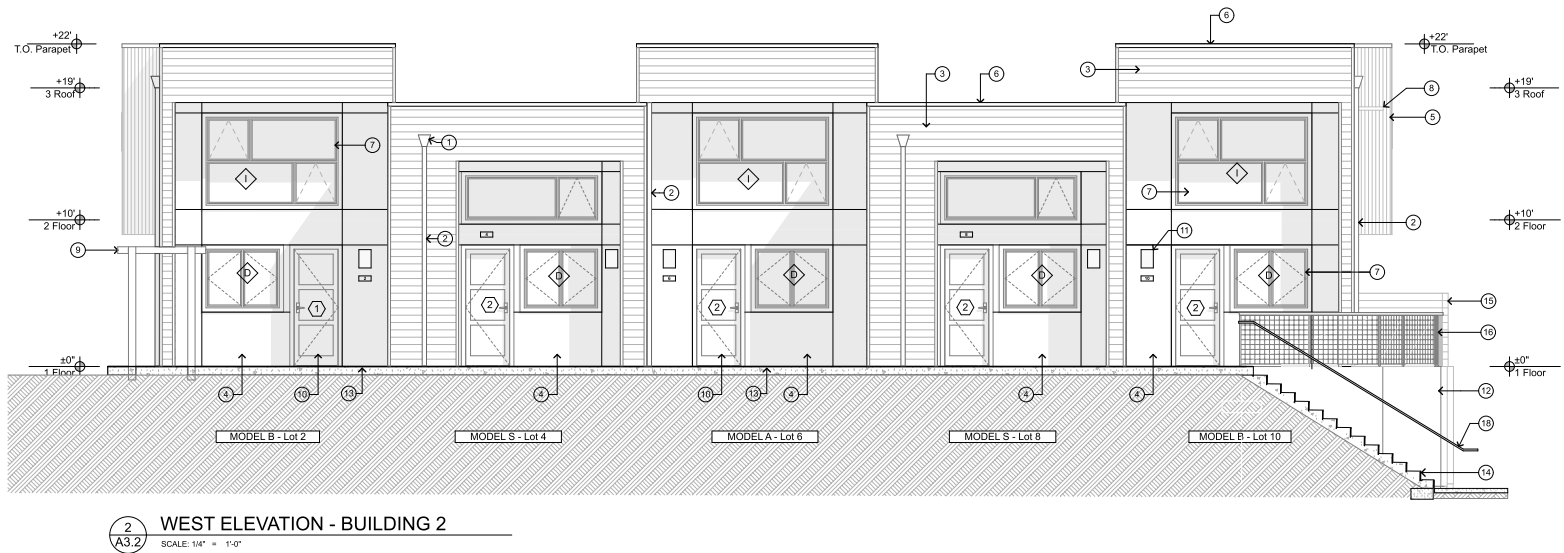
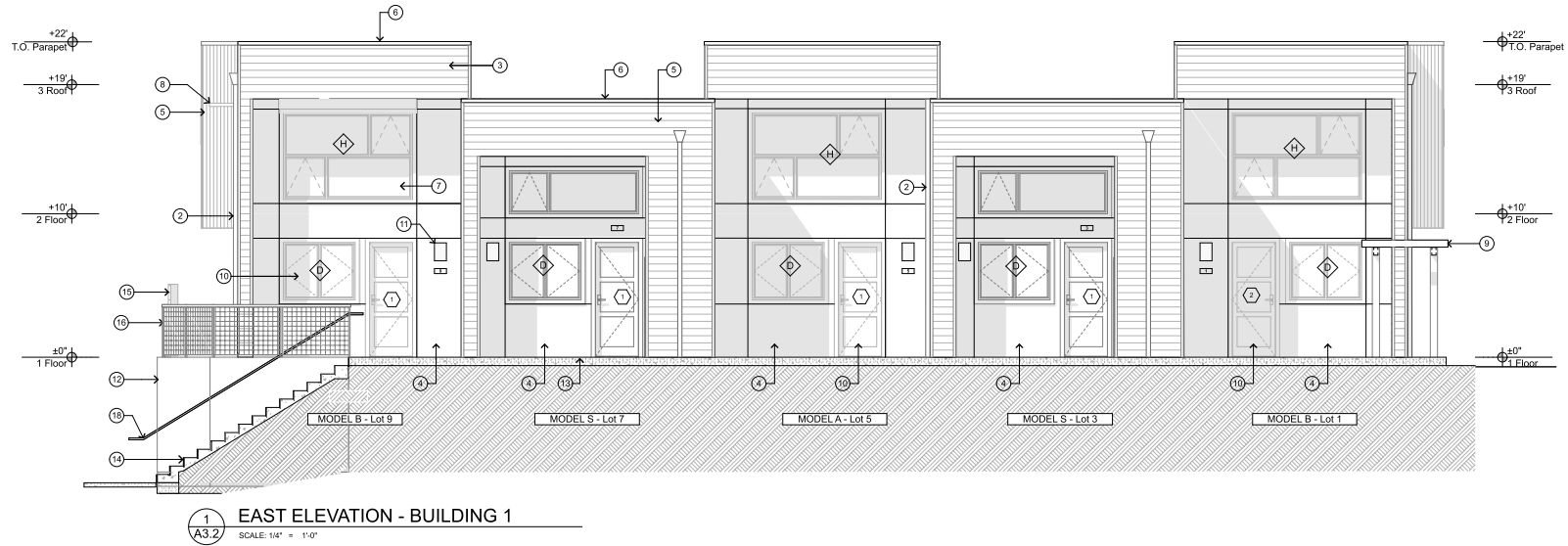
1
A3.1 BODEGA AVENUE ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



2
A3.1 REAR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

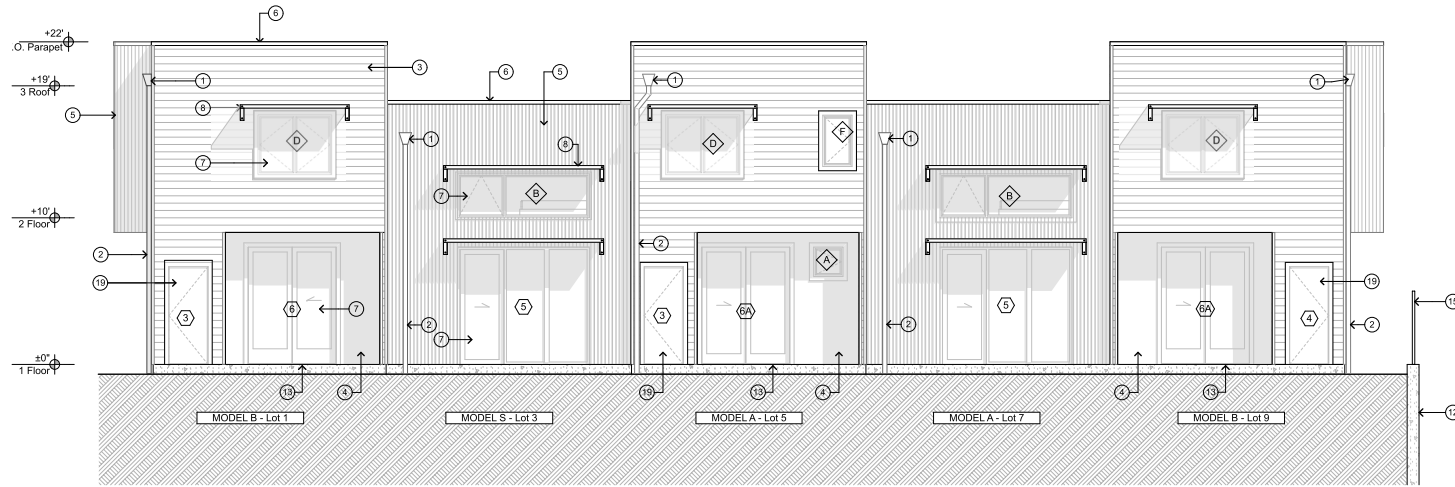
KEYNOTES - ELEVATION (NOT ALL NOTES USED ON EVERY SHEET)

- | | |
|---|---|
| 1. RAINWATER OVERFLOW SCUPPER | 11. LED WALL LIGHT AND ADDRESS NUMBER |
| 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE | 12. CONCRETE RETAINING WALL |
| 3. PAINTED HORIZONTAL BOARD LAP SIDING | 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.) |
| 4. SMOOTH PLASTER WITH METAL CHANNEL REGLET | 14. CONCRETE FRONT STEPS |
| 5. VERTICAL CORRUGATED GALVANIZED METAL SIDING | 15. 5-FOOT TALL HORIZONTAL WOOD BOARD PRIVACY FENCE |
| 6. GSM COPING, TYP. | 16. 42" TALL HOG WIRE FENCE - GUARD RAIL ON TOP OF RETAINING WALL |
| 7. ALUMINUM CLAD WOOD WINDOWS & DOORS, TYP. - SEE SCHEDULES FOR TYPE. | 17. BICYCLE RACK FOR TWO BIKES |
| 8. PERFORATED STEEL SUN AWNING | 18. STEEL HAND RAILS AT FRONT STEPS |
| 9. POWDER COATED STEEL TRELLIS | 19. PAINTED FIBERGLASS STORAGE DOOR |
| 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP. | 20. TRASH ENCLOSURE |

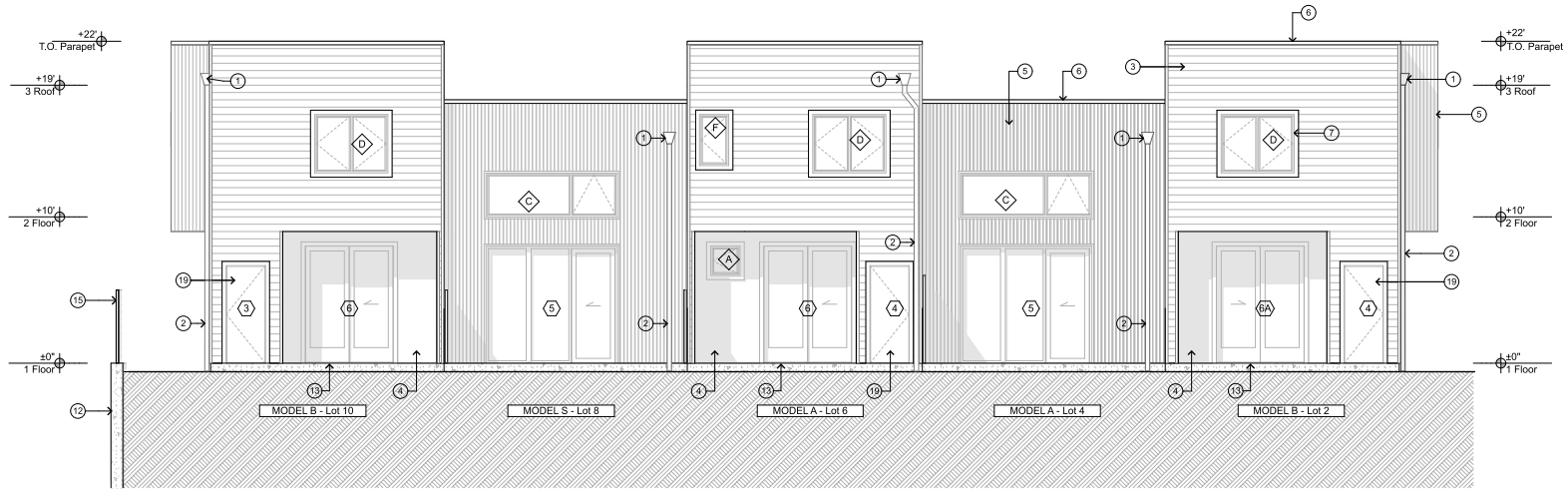


KEYNOTES - ELEVATION (NOT ALL NOTES USED ON EVERY SHEET)

- | | |
|---|---|
| 1. RAINWATER OVERFLOW SCUPPER | 11. LED WALL LIGHT AND ADDRESS NUMBER |
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| 9. POWDER COATED STEEL TRELLIS | 19. PAINTED FIBERGLASS STORAGE DOOR |
| 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP. | 20. TRASH ENCLOSURE |



1
A3.3 WEST ELEVATION - BUILDING 1
SCALE: 1/4" = 1'-0"



2
A3.3 EAST ELEVATION - BUILDING 2
SCALE: 1/4" = 1'-0"

KEYNOTES - ELEVATION (NOT ALL NOTES USED ON EVERY SHEET)

- | | |
|---|---|
| 1. RAINWATER OVERFLOW SCUPPER | 11. LED WALL LIGHT AND ADDRESS NUMBER |
| 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE | 12. CONCRETE RETAINING WALL |
| 3. PAINTED HORIZONTAL BOARD LAP SIDING | 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.) |
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| 9. POWDER COATED STEEL TRELLIS | 19. PAINTED FIBERGLASS STORAGE DOOR |
| 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP. | 20. TRASH ENCLOSURE |



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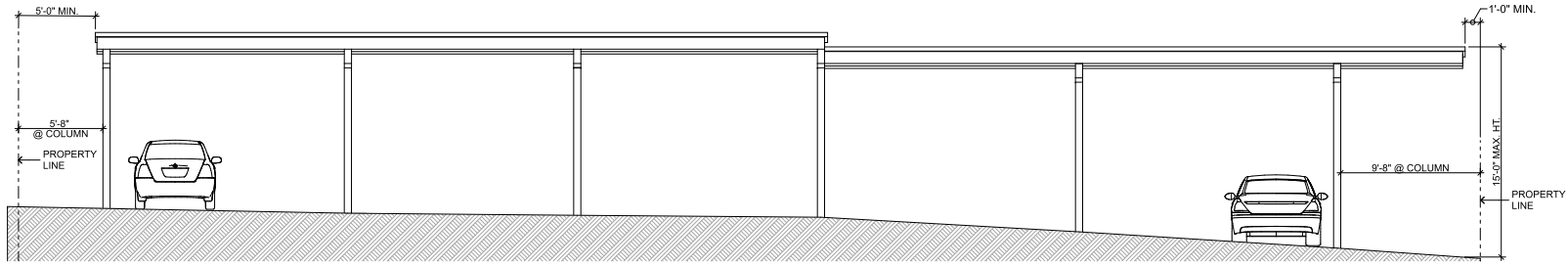
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EXTERIOR ELEVATIONS

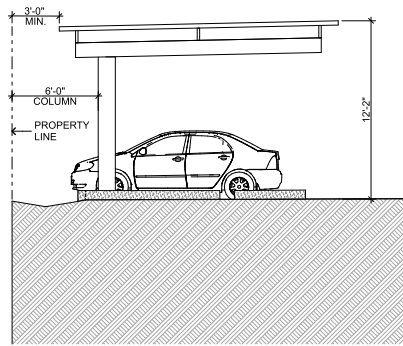
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SCALE: 1/4" = 1'-0"

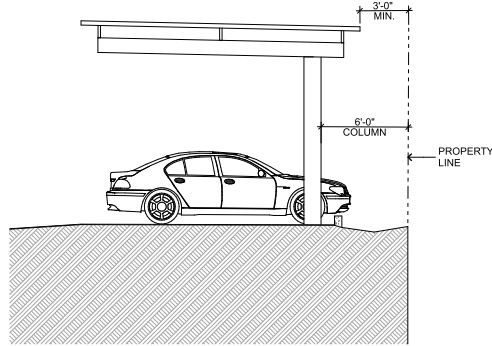
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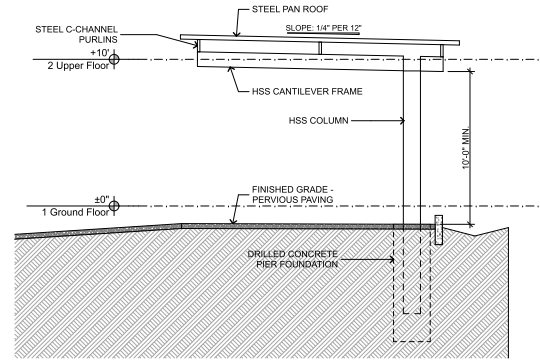
1 CARPORT FRONT ELEVATION
SCALE: 1/4" = 1'-0"



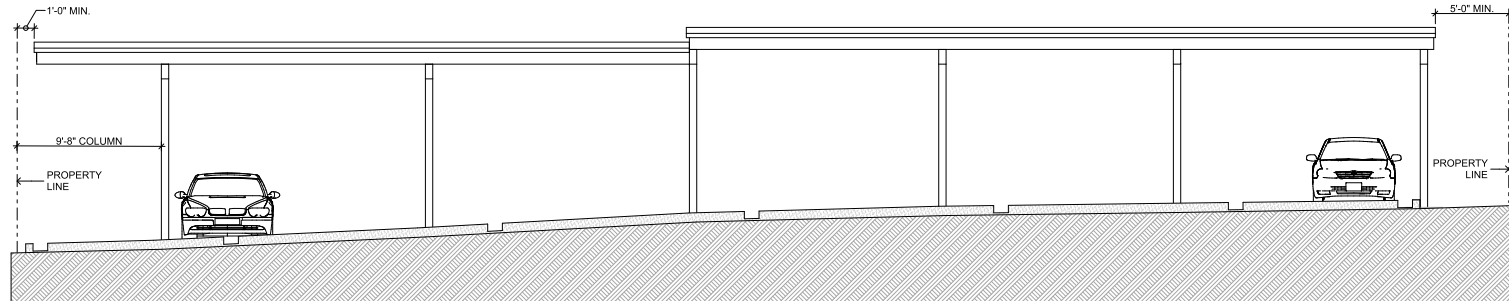
2 CARPORT LEFT SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



3 CARPORT RIGHT SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



5 CARPORT SECTION
SCALE: 1/4" = 1'-0"



4 CARPORT REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

