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Kari Svanstrom
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Alan Montes
[Senior Administrative Assistant](#)
Rebecca Mansour

City of Sebastopol Design Review Board Staff Report

Meeting Date: December 9, 2020
Agenda Item: 7A
To: Design Review Board
From: Alan Montes, Associate Planner
Subject: Design Review – Continued from November 18, 2020
Recommendation: Approval with Conditions
Applicant/Owner: The Beale Group
File Number: 2020-010
Address: 6950 Burnett Street
CEQA Status: Categorical Exemption: Section 15301: Class 1
General Plan: Central Core (CC)
Zoning: Downtown Commercial (CD)

Introduction:

This is a Design Review application, requesting approval to modify the existing building at 6950 Burnett Street, located at the northeast corner of the Burnett Street and South Main Street intersection. Several of the previous tenants include Round Table Pizza, Sonoma West Times, and Greenfield Learning Inc.

This item was recently reviewed and continued by the Board at their November 18, 2020 meeting. At this meeting, the Board was supportive of the overall concept but continued the item specifically to revise three elements: the “water tower” element, column bases, trellises, as well as any other changes the applicant sees fit.

The applicant has addressed this action as follows:

1. Mechanical Platform “Water Tower”. The “water tower” has been revised to be more like a barn structure. This element utilizes the clear stained cedar currently being used on this level. This structure has two openings, a barn door opening facing the dining area on the roof and open entrance facing the stairs. On the roof of this structure there continues to be a mechanical area screened by a parapet wall.
2. Column Bases. The project has removed the existing concrete bases and continued the brick veneer throughout.
3. Trellises. The applicant has provided details of the trellises on the landscape plans, as well as a complete landscape plan for review.

Notes:

- The “water tower” element has not been revised in the landscape plans.
- The renderings have not been updated in the architectural plan set to reflect the revised elevations.

Environmental Review:

The project is categorically exempt from the requirements of CEQA, pursuant to Section 15301, Class 1, which exempts exterior alterations involving negligible or no expansion of existing use, as the project is an existing building, the addition is less than 10,000 sf, is proposing cosmetic exterior improvements, the site is located in an area that is served by all utilities and is not an environmentally sensitive site.

Public Comment:

The Planning Department has not received any comments from the public as of writing the staff report.

Required Findings:

Design Review: Section 17.450.030(B) of the Zoning Ordinance states the following: “In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether: 1) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol; 2) The design provides appropriate transitions and relationships to adjacent properties and the public right of way; 3) It would not impair the desirability of investment or occupation in the neighborhood; 4) The design is internally consistent and harmonious; and 5) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter.”

Analysis:

The project is still substantially consistent with the November 18, 2020 Staff Report. Staff believes that the revisions are consistent with the recommendations and action taken by the Board at their November 18, 2020 meeting.

The revisions and overall project is consistent with the General Plan, Zoning Ordinance, the Sebastopol Downtown Plan and Design Review Guidelines, as demonstrated in this report and the November 18, 2020 Staff Report, attached.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report and Exhibits A and B, with any modifications the Board feels are appropriate, and if there is a consensus that the design of the project appropriate.

Alternatively, the Board may find that revisions are necessary, and may take the alternative actions:

1. Approve the proposal, but defer approval to any specific elements (such as the landscape); or
2. Continue the entire project and provide the applicant with specific direction for redesign.

Exhibits:

- A. Recommended Findings of Approval
- B. Recommended Conditions of Approval

Attachments:

1. Application Materials
2. Revised Project Plans, stamped received December 1, 2020 (13x22)
3. November 18, 2020 Staff Report.

Exhibit A
DESIGN REVIEW PERMIT: 2020-010
6950 Burnett Street

Recommended Findings for Approval:

1. That the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination, in that the project is an existing building, the addition is less than 3,000 sf, is proposing cosmetic exterior improvements, the site is located in an area that is served by all utilities and is not in an environmentally sensitive site.
2. That the design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol as it has been reviewed by the Design Review Board and found to be compatible with the neighborhood and general visual character of Sebastopol.
3. That the design provides appropriate transitions and relationships to adjacent properties and the public right of way in the modifications are working within the existing footprint, complies with the height regulations and provides an appropriate transition between floors.
4. That the project will not impair the desirability of investment or occupation in the neighborhood in that the façade improvements will enhance an existing building and has been reviewed by the Design Review Board and City Staff to ensure a high-quality project.
5. That the design is internally consistent and harmonious in that the project is updating the entire façade with a harmonious design that utilizes the same windows, awnings, and complementing color/material themes.
6. That the design is in conformity with the Zoning Ordinance regulation, including use, development standards (including height), and parking. The height exception is appropriate as it is for the purpose of concealing the elevator tower through a high quality design and the area that exceeds the height limit is less than 15% of the roof area.
7. That the design is in conformity with adopted Design Guidelines in that; 1) the project is using complementing materials and colors to create a harmonious design throughout the entire structure; 2) the project uses different patterns and materials to create breaks in the face and soften the facade; 3) that the project has integrated the elevator tower into the design; 4) the ground floor will create an enhanced pedestrian experience by creating a ground floor patio with operable windows, including roll-up windows; and 5) the trash enclosure will be screened from public view.

Exhibit B
DESIGN REVIEW PERMIT: 2020-010
6950 Burnett Street

Recommended Conditions of Approval:

General and Ongoing

1. Approval is granted for the Design Review submittal described in the application and plans date-stamped November 10, 2020. This approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.250.050 of the Zoning Ordinance.
2. All construction shall conform to the plans date-stamped November 10, 2020, unless the design is modified herein. The applicant must obtain a Building Permit prior to the commencement of construction activities.
3. All rooftop mechanical equipment shall be screened to the satisfaction of the Planning Director. Such screening shall be included in the Building Permit submittal.
4. This approval does not include approval for the sale of alcoholic beverages, which requires separate approvals. No use permits that may be required are part of this approval.
5. Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
6. The exterior lighting proposal shall be reviewed and approved by the Design Review Board.
7. The painted mural sign, located in the alley, shall be preserved.
8. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
9. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.
10. No sound may emanate from the building which violates the Noise Ordinance or causes an undue disturbance to site neighbors.

Development Conditions

11. Compliance with the Public Art Ordinance shall be demonstrated prior to issuance of a Building Permit, either by payment of an in-lieu fee, or by obtaining City approval for an on-site artwork. If on-site art is proposed, applicant is advised to initiate a Public Arts Committee meeting of such proposal well in advance of applying for a Building Permit.
12. A boundary survey or other verification approved by the Planning Department is required to be submitted as part of the building permit application.
13. For the building permit submittal, 5 sets of plans are required along with 2 sets of calculations and reports.
14. Authorized Construction Hours:
 - a. Monday through Friday – 7:00 a.m. to 6:00 p.m.
 - b. Saturday and Sunday– 8:00 a.m. to 5:00 p.m.
 - c. Includes warm-up or servicing of equipment and any preparation for construction.
15. The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
16. A geotechnical report is required for this project.
17. The project is required to comply with CalGreen at the Tier I level excluding Division A4.2 Energy Efficiency, as adopted and amended by the City. The worksheets can be located on the City’s website on the building department page. The worksheets are to be printed on plan sheets in the plan set.
18. Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
19. Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
20. Before approval of the foundation inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
21. Before approval of the framing inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

22. The project shall use the 2019 California Fire Codes.
23. An automatic fire sprinkler suppression system is required.
24. An Ansul R-102 restaurant fire suppression system is required, if applicable.
25. The Building shall be fully monitored, including:
 - a. Fire alarm control panel (FACP)
 - b. Smoke and Heat Detection
 - c. Horns and strobes notification
 - d. Rapid entry suprasafe system (knox box)
 - e. 24/7/365 monitoring by alarm company
 - f. Emergency Vehicle access, if required
 - g. Hammerhead turnarounds, if required
 - h. Additional new fire hydrants, if required.
26. Stormwater protection shall be in place during construction.
27. Current backflow certificates are required for domestic, irrigation and fire.
28. Backflow services shall be upgraded to reduce pressure services.
29. Any work within the City easement will require an encroachment permit.
30. The applicant shall video-inspect the existing sewer lateral and report to Public Works on condition of sewer lateral. If necessary, a sewer cleanout shall be installed at the property line on the existing lateral.
31. The developer shall submit a site plan prepared by an architect or an engineer, showing all existing and proposed utilities. Submittals shall be made to the Public Works Department at 714 Johnson St, Sebastopol.
32. All work shall be in accordance with the City of Sebastopol Standard Plans and Specifications.
33. An encroachment permit from the City of Sebastopol shall be obtained for any work in the public right of way.
34. The developer shall install an above-grade reduced pressure backflow prevention device on the existing domestic water service. The backflow device shall be screened with an architectural screen.
35. The developer shall install a double check detector check backflow prevention device on the existing fire service. The backflow device shall be screened with an architectural screen.

36. The developer shall inspect the existing sewer line with a TV inspection service. Video of the inspection shall be submitted to the Public Works Department. Any repairs required shall be completed prior to occupancy of the new use.
37. The developer shall install a two-way sewer cleanout on the sewer lateral. The cleanout shall be located in the sidewalk area.
38. The developer shall obtain an Industrial Waste Discharge permit from the City of Santa Rosa Industrial Waste Department.



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167 (Phone) or (707) 823-1135 (Fax)
www.ci.sebastopol.ca.us

MASTER PLANNING APPLICATION FORM

PROJECT INFORMATION:

ADDRESS:	6950 Burnett St, SEBASTOPOL
PARCEL #:	004-054-020
PARCEL AREA:	.21 ACRES

FOR CITY USE ONLY

PLANNING FILE #:	2020 / 010
DATE FILED:	01-23-20
TOTAL FEES PAID: \$	1,405
RECEIVED BY:	
DATE APPLICATION DEEMED COMPLETE:	

APPLICANT OR AGENT:

Name: THE BEALE Group

Email Address: info@thebeale.group

Mailing Address: 555 S. Main

City/State/Zip: SEBASTOPOL, CA 95472

Phone: 707.827.9600

Fax: _____

Business License #: 1874

Signature:

Date: 1-21-20

OWNER OF PROPERTY

IF OTHER THAN APPLICANT:

Name: _____

Email Address: _____

Mailing Address: _____

City/State/Zip: _____

Phone: _____

Fax: _____

Business License #: _____

Signature: _____

I certify that this application is being made with my consent.

Date: _____

OTHER PERSONS TO BE NOTIFIED: (Include Agents, Architects, Engineers, etc.).

Name: Grace Meeks

Email Address: grace.M@buildersstudioinc.com

Mailing Address: 555 S. Main

City/State/Zip: SEBASTOPOL, CA 95472

Phone: 707.827.9616

Fax: _____

Name: _____

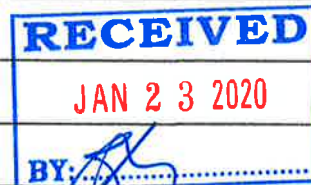
Email Address: _____

Mailing Address: _____

City/State/Zip: _____

Phone: _____

Fax: _____



PROJECT DESCRIPTION:

DESCRIBE IN DETAIL, the proposed project and permit request. (Attach additional pages, if needed):

SEE ATTACHED DOCUMENT

This application includes the checklist for the type of application requested: Yes No

Please indicate the type(s) of application that is being requested (example: Use Permit, Design Review, Variance, Planned Community Rezone, etc.):


USE Permit, Design Review, Variance for HEIGHT of BUILDING

Please describe existing uses (businesses, residences, etc.) and other structures on the property:

Retail, offices, Restaurant

DEVELOPMENT DATA:

** Repurposed to non-conditioned space*

SQUARE FEET BUILDING EXISTING:	10,795 SF	<input type="checkbox"/> N/A
SQUARE FEET BUILDING DEMOLISHED*	450 SF *	<input type="checkbox"/> N/A
SQUARE FEET BUILDING NEW:		<input type="checkbox"/> N/A
NET CHANGE IN BUILDING SQUARE FEET:		<input type="checkbox"/> N/A
NUMBER OF DWELLING UNITS EXISTING:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NUMBER OF DWELLING UNITS PROPOSED:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NET CHANGE IN DWELLING UNITS:		<input checked="" type="checkbox"/> N/A
 SETBACKS:	Existing: <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input checked="" type="checkbox"/> N/A	Proposed: <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input checked="" type="checkbox"/> N/A

EXISTING LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input checked="" type="checkbox"/> N/A
PROPOSED LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input checked="" type="checkbox"/> N/A
EXISTING LOT AREA:	_____ Square Feet		<input checked="" type="checkbox"/> N/A
PROPOSED LOT AREA:	_____ Square Feet		<input checked="" type="checkbox"/> N/A
BUILDING HEIGHT:	Existing: <u>30'-1"</u>	Proposed: <u>43'-6"</u>	<input type="checkbox"/> N/A
NUMBER OF STORIES:	Existing: <u>2</u>	Proposed: <u>3 - 3rd level is Public Deck</u>	<input type="checkbox"/> N/A
PARKING SPACE (S):	Existing: _____	Proposed: _____	<input checked="" type="checkbox"/> N/A <i>non-curbcut space</i>
ZONING	Existing: _____	Proposed: _____	<input checked="" type="checkbox"/> N/A

Will the project involve a new curb cut or driveway? Yes No

Are there existing easements on the property? Yes No

Will Trees be removed? Yes No

If yes, please describe (Example: Type, Size, Location on property, etc.)

Will Existing Landscaping be revised? Yes No

If yes, what is square footage of new or revised landscaping?

Will Signs be Changed or Added? Yes No

Business: Hours of Operation? Open: 7:00 AM Close: 9:00 PM

Is alcohol service proposed? Yes No

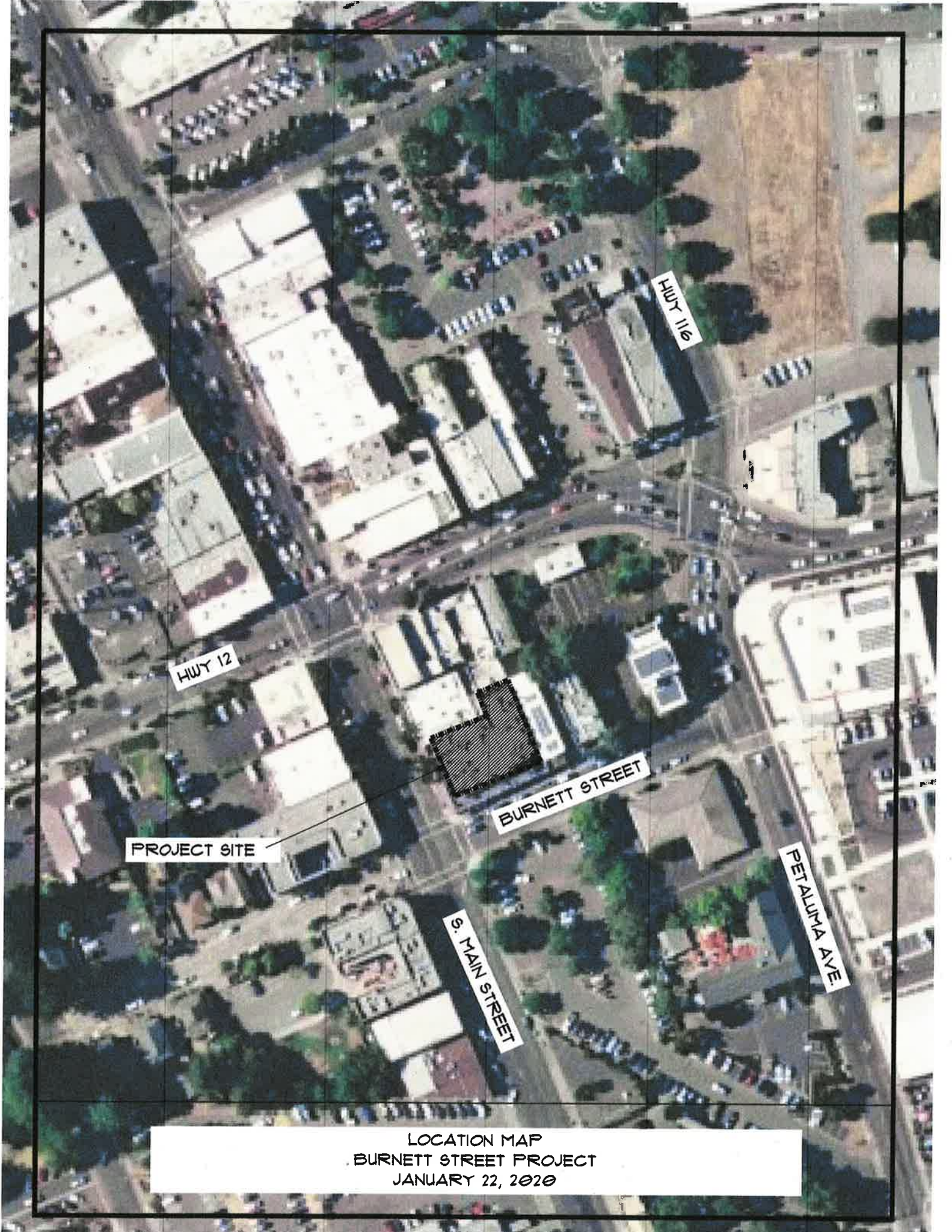
If yes, what type of State alcohol license is proposed? type 47

If yes, have you applied to the State Alcoholic Beverage Control for a license? Yes No

If this is a restaurant, café or other food service, bar, or nightclub, please indicate total number of seats: 1st LEVEL 165
2ND LEVEL TBD
3RD LEVEL 85

Is any live entertainment proposed? Yes No

If yes, please describe: non-applied - occasional



HWY 12

HWY 116

PROJECT SITE

BURNETT STREET

S. MAIN STREET

PETALUMA AVE

LOCATION MAP
BURNETT STREET PROJECT
JANUARY 22, 2020



Builders' Studio

OF SEBASTOPOL

Project Description / Written Statement
January 22, 2020

Our mission and vision for this property and our community:

The Project:

Exterior shell and infrastructure- Stair and elevator tower for convenience, requirements, and aesthetic appeal. Finishes will be updated to a more simplified, modern, and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal character with a combination of warmer woods, deep and smooth stucco color and finish, and metal windows and doors.

- First level: Food hall and marketplace with private gathering room and new covered porch. Majority common area for all customers to use and enjoy, including shared unisex bathrooms and scullery. Small kitchens with a balance of food options for every craving and budget.
- Second level: Currently proposed to be traditional standalone tenant spaces, including three existing outdoor balcony spaces. One to three destination restaurants and/or retail.
- Third level: Rooftop, outdoor patio. Beverage services and access/menu for all restaurants located at lower levels. Family-friendly. A social hub for communities of all ages. Fresh air, food, drink, and attitude. Thoughtful and durable design while maintaining a relaxed and comfortable atmosphere.

PLANNING FEES – FY 2018/19

CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Adjustment	Fee	\$445.00	\$170.00	\$615.00
<input type="checkbox"/>	Administrative Permit Review – Minor	Fee	\$140.00	\$15.00	\$155.00
<input type="checkbox"/>	Administrative Permit Review	Fee	\$360.00	\$15.00	\$375.00
<input type="checkbox"/>	Administrative Time Extension	Fee	\$185.00	\$15.00	\$200.00
<input type="checkbox"/>	Annexation Request – Preliminary	Deposit	\$3,390.00	\$15.00	\$3,405.00
<input type="checkbox"/>	Annexation/Pre-zone Request	Deposit	\$6,615.00	\$215.00	\$6,830.00
<input type="checkbox"/>	Antenna Permit – Administrative	Fee	\$740.00	\$170.00	\$910.00
<input type="checkbox"/>	Appeal of Board, Commission or Staff Decisions	Fee	\$400.00	\$215.00	\$615.00
<input type="checkbox"/>	Building Permit Review Fee – Major	Fee	\$260.00	N/A	\$260.00
<input type="checkbox"/>	Building Permit Review Fee – Minor	Fee	\$100.00	N/A	\$100.00
<input type="checkbox"/>	Business License Application Review	Fee	\$35.00	N/A	\$35.00
<input type="checkbox"/>	Certificate of Compliance	Deposit	\$1,905.00	\$15.00	\$1,920.00
<input type="checkbox"/>	Design Review – Administrative	Fee	\$205.00	\$15.00	\$220.00
<input type="checkbox"/>	Design Review – Major Project	Deposit	\$1,370.00	\$35.00	\$1,405.00
<input type="checkbox"/>	Design Review – Minor Amendment	Fee	\$235.00	\$15.00	\$250.00
<input type="checkbox"/>	Design Review – Minor Project	Fee	\$350.00	\$15.00	\$365.00
<input type="checkbox"/>	Development Agreement	Deposit	\$12,505.00	\$215.00	\$12,720.00
<input type="checkbox"/>	Environmental Impact Report Review	Deposit	\$9,685.00	\$215.00	\$9,900.00
<input type="checkbox"/>	Filming Permit	Fee	\$555.00	\$15.00	\$570.00
<input type="checkbox"/>	Filming Permit – Non-Profit or Student	Fee	\$150.00	\$15.00	\$165.00
<input type="checkbox"/>	Filming Permit – Still	Fee	\$445.00	\$15.00	\$460.00
<input type="checkbox"/>	Filming Permit – Amendment	Fee	\$140.00	\$15.00	\$155.00
<input type="checkbox"/>	General Plan Map or Text Amendment	Deposit	\$4,370.00	\$215.00	\$4,585.00
<input type="checkbox"/>	Historic Interest Site	Fee	\$720.00	\$170.00	\$890.00
<input type="checkbox"/>	Initial Study Preparation	Deposit	\$3,670.00	\$215.00	\$3,885.00
<input type="checkbox"/>	Landmark Designation	Fee	\$830.00	\$170.00	\$1,000.00



CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Lot Line Adjustment or Voluntary Merger	Deposit	\$1,795.00	\$170.00	\$1,965.00
<input type="checkbox"/>	Medical Cannabis Administrative Exception	Fee	\$155.00	\$15.00	\$170.00
<input type="checkbox"/>	Photocopying (per copy)	Fee	\$0.25	N/A	\$0.25
<input type="checkbox"/>	Preapplication Conference	Fee	\$400.00	N/A	\$400.00
<input type="checkbox"/>	Preliminary Review	Deposit	\$1,965.00	\$15.00	\$1,980.00
<input type="checkbox"/>	Public Art Review	Deposit	\$1,435.00	\$15.00	\$1,450.00
<input type="checkbox"/>	Reasonable Accommodation Request	Fee	\$400.00	\$15.00	\$415.00
<input type="checkbox"/>	Research Fee	Deposit	\$135.00/hourly	N/A	\$135.00/hourly
<input type="checkbox"/>	Rezone or Zoning Text Amendment	Deposit	\$4,150.00	\$215.00	\$4,365.00
<input type="checkbox"/>	Sandwich Board Sign/Banner Review	Fee	\$35.00	N/A	\$35.00
<input type="checkbox"/>	Sign Removal	Fee	\$30.00	N/A	\$30.00
<input type="checkbox"/>	Sign Review – Administrative/Staff	Fee	\$120.00	\$15.00	\$135.00
<input type="checkbox"/>	Sign Review – Individual/Minor	Fee	\$205.00	\$15.00	\$220.00
<input type="checkbox"/>	Sign Review – Major	Fee	\$380.00	\$15.00	\$395.00
<input type="checkbox"/>	Sign Variance	Fee	\$90.00	\$15.00	\$105.00
<input type="checkbox"/>	Site Inspection	Fee	\$120.00	N/A	\$120.00
<input type="checkbox"/>	Subdivision – Tentative Major	Deposit	\$5,270.00	\$215.00	\$5,485.00
<input type="checkbox"/>	Subdivision – Tentative Minor	Deposit	\$4,900.00	\$215.00	\$5,115.00
<input type="checkbox"/>	Subdivision Ordinance Exception	Fee	\$1,050.00	\$15.00	\$1,065.00
<input type="checkbox"/>	Time Extension Request	Fee	\$160.00	\$15.00	\$175.00
<input type="checkbox"/>	Transfer of Alcoholic Beverages/Shared Use of Production Facility	Fee	\$145.00	\$15.00	\$160.00
<input type="checkbox"/>	Tree Protection Plan	Fee	\$385.00	N/A	\$385.00
<input type="checkbox"/>	Tree Removal – City Arborist	Fee	\$250.00	\$15.00	\$265.00
		Plus Refundable Replacement Deposit of \$75.00 Per Tree (typically two replacement trees are required)			
<input type="checkbox"/>	Tree Removal Request – Tree Board	Fee	\$300.00	\$15.00	\$315.00
		Plus Refundable Replacement Deposit of \$75.00 Per Tree (typically two replacement trees are required)			

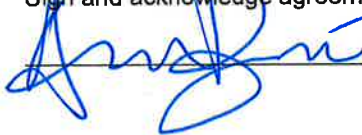
CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Use Permit – Major	Deposit	\$1,770.00	\$215.00	\$1,985.00
<input type="checkbox"/>	Use Permit – Minor	Deposit	\$1,155.00	\$170.00	\$1,325.00
<input type="checkbox"/>	Use Permit – Temporary	Fee	\$285.00	\$170.00	\$455.00
<input type="checkbox"/>	Use Permit – Temporary, for occupancy of recreational vehicles for Sonoma Fire Victims	Fee	\$75.00	N/A	\$75.00
<input type="checkbox"/>	Variance	Deposit	\$1,155.00	\$215.00	\$1,370.00
<input type="checkbox"/>	Water Efficient Landscape Plan Review	Fee	\$355.00	\$15.00	\$370.00
<input type="checkbox"/>	Zoning Determination	Fee	\$125.00	\$15.00	\$140.00
<input type="checkbox"/>	Zoning Ordinance Interpretation	Fee	\$515.00	\$15.00	\$530.00

In addition, such fees as required by Local Agency Formation Commission and State Board of Equalization are to be paid to City of Sebastopol by the applicant prior to City filing annexation documents with Local Agency Formation Commission.

** For multiple applications (in most cases), only one supplies and/or mailing list preparation fee per application.*

DEPOSIT ACCOUNT INFORMATION: Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies.

Sign and acknowledge agreement with the Deposit Account fee and procedure:

 Signature Amanda Bruner Printed Name 23 Jun 20 Date



City of Sebastopol

ENVIRONMENTAL INFORMATION/ASSESSMENT FORM

(To be completed by applicant)

The submittal information shall be provided to the Planning Department.

Date Filed: _____

General Information:

- Name of developer or project sponsor: THE BEALE GROUP
Address of developer or project sponsor: 555 S MAIN SEBASTOPOL, CA
- Address of project: 6950 BURNETT ST. SEBASTOPOL
Assessor's Block and Lot Number: 004-054-020
- Name of person to be contacted concerning this project: Grace Meeks
Address of person to be contacted concerning this project: 369 S. Main SEBASTOPOL
Telephone Number of person to be contacted concerning this project: 707-827-9616
- Indicate number of the permit application for the project to which this form pertains:

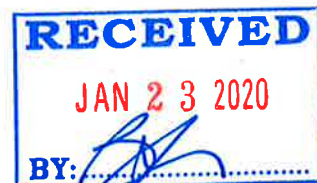
- List and describe any other related permits and other public approvals required for this project, including those required by City, Regional, State and Federal Agencies:

SEE ATTACHED DOCUMENT

6. Existing Zoning District: CD Existing General Plan Designation: CC

7. Propose Use of Site (Project for which this form is filed): RESTAURANT / RETAIL

SEE ATTACHED DOCUMENT FOR MORE INFO.



PROJECT DESCRIPTION:

- 8. Site Size: .21 ACRES
- 9. Square Footage: 10,591 SF OF CONDITIONED SPACE
- 10. Number of floors of construction: 3 - 3rd level is non conditioned space
- 11. Amount of off-street parking: N/A
- 12. Attach plans SEE ATTACHED DRAWINGS
- 13. Proposed scheduling SEE ATTACHED DOCUMENT
- 14. Associated project
- 15. Anticipated incremental development: SEE ATTACHED DOCUMENT
- 16. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. N/A
- 17. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. SEE ATTACHED DOCUMENT
- 18. If industrial, indicate type, estimated employment per shift, and loading facilities. N/A
- 19. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project. N/A
- 20. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. SEE ATTACHED DOCUMENT

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

21.	Change in existing features of any bays, tidelands, beaches or hills, or substantial alternation of ground contour.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
22.	Change in scenic views or vistas from existing residential areas or public lands or roads.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
23.	Change in pattern, scale or character of general area of project.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
24.	Significant amounts of solid waste or litter.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
25.	Change in dust, ash, smoke, fumes or odors in vicinity.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
26.	Change in ocean, bay, lake, stream or ground water quality or	Yes	No

	quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27.	Substantial change in existing noise or vibration levels in the vicinity.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
28.	Site on filled land or on slope of 10 percent or more.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
30.	Substantial change in demand for municipal services (police, fire, water, sewage, etc).	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
31.	Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc).	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
32.	Relationship to a larger project or series of projects.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Environmental Setting:

33. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted.

SEE ATTACHED DOCUMENT

34. Describe the surrounding properties, including information on plant and animals and any cultural historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc), intensity of land use (one-family, apartment houses, shops, department stores, etc), and scale of development (height, frontage, set-back, rear yard, etc). Attach photographs of the site. Snapshots or Polaroid photos will be accepted.

SEE ATTACHED DOCUMENT

	YES	NO
A. Does the Project involve any of the following?		
1. No change in the square footage to the existing structure?		<input checked="" type="checkbox"/>
2. An addition of more than 50% of square footage to the existing structure?		<input checked="" type="checkbox"/>
3. An addition of more than 2500 square feet to the existing structure?		<input checked="" type="checkbox"/>
4. An addition of more than 10,000 square feet to the existing structure?		<input checked="" type="checkbox"/>
5. Demolition of the existing structure? <i>very small amount to exist</i>		<input checked="" type="checkbox"/>
	YES	NO
B. Does the Project involve the replacement or reconstruction of existing structures or facilities at the site which:		
1. Will have substantially the same purpose and capacity as existing structures at the site? <i>Increases Capacity mainly e3rd level</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will result in an increase in square footage or capacity as compared to the existing structure?	<input checked="" type="checkbox"/>	

*conditioned space substantially the same
Capacity increased - more restaurants e1st level
a added 3rd level use.*

	YES	NO
C. Does the Project involve new construction of:		
1. 35 or more dwelling units?		X
2. More than 15,000 square feet of commercial, industrial, governmental, or institutional floor area?		X
3. Stores, motels, offices, restaurants, and similar structures designed for an occupant load of more than 30 persons?	X	
	YES	NO
D. Does the Project involve division of property into more than four parcels or consolidation of more than four parcels?		X
	YES	NO
E. Will the Project require issuance of a Variance, Use Permit, Zoning Ordinance Amendment, Zoning Map Amendment, or General Plan Amendment?	X	
	YES	NO
F. Will the Project result in a change in use at the site (for example: from residential to commercial or from office to restaurant?) <i>More Restaurant space.</i>	✓	
	YES	NO
G. Is this Project:		
1. Similar to the other projects for which you have received permits in the last two years in the City of Sebastopol?		X
2. Similar to other projects, which you are planning to develop within two years in the City of Sebastopol?		X
	YES	NO
H. Does the Project involve changes to an official City landmark?		X
	YES	NO
I. Does the Project involve use of disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives?		X
	YES	NO
J. If the Project is located within 500 feet of a residential zone or noise-sensitive land uses, will the construction of the project involve the use of pile driving, night time track hauling, blasting, 24 hour pumping, or other equipment that creates high noise levels and or vibrations?		
	YES	NO
K. Does the Project involve the construction, substantial remodel, or 50% or more addition to the following types of uses?		
Mobile home, amphitheater, concert hall, auditorium, meeting hall, hospital, church, library, school classrooms, or day care?		X

I certify that the information in this form is correct to the best of my knowledge.


Applicant Signature

1-22-10
Date

Certification:

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information represented are true and correct to the best of my knowledge and belief.

Date: 1-22-20

Signature: 

Printed Name: Gessner Bess

For: The Beek Group



Builders' Studio

OF SEBASTOPOL

Environmental Assessment Form Info
January 22, 2020

The following are responses to questions from the environment assessment form.

5. List of related permits/approval required for this project:

- Demo Permit – Interior already obtained
- Demo permit – Exterior
- Building permit
- Design Review Board Approval
- State Health Department approval

7. Propose Use of Site:

- General Building - Exterior shell and infrastructure- Stair and elevator tower for convenience, requirements and aesthetic appeal. Finishes will be updated to a more simplified, modern and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal flavor with a combination of warmer woods, deep and smooth stucco color and finish, and metal windows and doors.
- First level- Food hall and marketplace with private gathering room and new covered porch. Majority common area for all customers to use and enjoy, including shared scullery and unisex restrooms. Small kitchens with a balance of food options for every craving and budget.
- Second level- Currently proposed to be more traditional standalone tenant spaces, including 3 existing outdoor balcony spaces. 1-3 Destination restaurants and/or retail. Unisex restrooms will also be on this level.
- Third level- Rooftop, outdoor patio. Beverage services and access/menu for all restaurants located at lower levels. Family friendly. Social hub for community of all ages. Fresh air, food and drink and attitude. Thoughtful and durable design, while maintaining a relaxed and comfortable atmosphere.

13. Proposed scheduling:

- Demo permit was obtained for the interior and demolition work is underway

- Construction should be complete by the end of 2020 or within approximately 6 months of receiving building permit.

15. First and third level tenant improvement work will be first, with the second level tenant improvement work following.

17. This commercial project is restaurants and retail, intended to support the immediate neighborhood as well as the city and regional area.

20. We are needing a variance for the building height. We are developing the existing roof as a tenant/public space for the public. We are adding an elevator to this third level and with the clearance requirements for the elevator shaft, we extend beyond the stated height limit. We have kept the roof pitch to a minimum (2:12) to minimize impact on neighboring properties.

33. The existing 2-story building on this project site once housed a restaurant that was a gathering spot for local families and youth teams. The local paper also once used a portion of the building. More recently, many spaces have been empty, including the restaurant area. A small portion of the first floor and half of the second floor were used as office space. In anticipation of the remodel, the building is currently empty.



Photo looking North East toward the property site.

34. The surrounding properties are similar in size and use as this project. Located in the central core, this project and surrounding commercial (retail, offices, banks and restaurants) space. Below are pictures of adjacent areas.





Photo looking west along Burnett street



Photo looking north along S. Main





Photo on S. Main looking North West. The property in behind the trees on the right.





The Livery on Main – Mission and Vision and Letter from Owner

Project Description / Written Statement
September 14, 2020

Our mission and vision of this property and for our community:

The Project:

The Livery is the proposed name of the building.

Exterior shell and infrastructure - Stair and elevator tower for convenience, requirements and aesthetic appeal. Finishes will be updated to a more simplified, modern, and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal flavor with a combination of brick cladding at the first level and entries, warmer wood, smooth stucco, and metal windows and doors.

The Use:

The building will have a single tenant, Farm to Coast Collective (F2CC). F2CC is a restaurant, food and beverage service and marketplace that will include many licensing participants. This business model will allow for many new and/or small businesses to utilize the entire building, share operating costs resulting in greater profit margins. We also believe it will provide a more authentic and complete representation of what Sebastopol and our west county has to offer.

- First level- Food hall and marketplace with indoor/outdoor seating including a new covered porch. Majority common area for all customers to use and enjoy, including shared scullery and unisex bathrooms. Smaller than standard kitchens with a balance of food options for every craving and budget.
- Second level- This will be primarily used for back of house, shared offices, storage, along with a potential shared prep/presentation kitchen. There will also be beverage services that will provide access to the full menus of the kitchens below. Customers will also have access to three existing balconies with partial covering and seasonal protection.
- Third level- This will be partially covered, open air, outdoor spaces. Beverage Services with access to all the kitchens below. Live entertainment and special events. Family friendly. Social hub for community of all ages. Fresh air, food and drink and attitude. Thoughtful and durable design, while maintaining a relaxed and comfortable atmosphere.

Letter from Owner/Applicant
January 22, 2020

By our community for our community-

As a homeowner, father, multiple business owner, and volunteer in our small town of Sebastopol, I have a personal interest and desire to actively help maintain and improve our community. This is our forever home, and we are all-in.

How this project came to be:

We, Builders' Studio of Sebastopol and THRIVE Construction Group, were hired by the previous owner to design, permit, and construct potential tenant improvements. After several meetings and some progress, we felt that the direction of the tenant improvements and the overall building were not long term or in the best interest of our town.

The building was once the beacon of a very successful business. The previous owners constructed the building approximately forty years ago, and it was once an active corner in downtown. In more recent years, the management and attention to the building waned, resulting in its current state and lack of direction.

This property is unique. Existing roof decks, divided utilities for approximately half a dozen separate tenants, fire sprinklers, public parking lot across the street, flexible interior layout due to large spanning beam and column construction made this ripe for reimagination. That's where my mind went and quickly became a mission. The building was not for sale but after approximately six months of negotiation we purchased the building from the original owners. It felt more like a passing of a baton than it did a real estate transaction.

Our motivation and interest:

Do it once and do it right. Our vision for this building and property extends beyond its property lines. Being an active member of our community and a frequenter of downtown businesses, I felt the need for a local and authentic take on our community's future, direction, and needs. In other words, what would benefit our community? There has been a lot of "outside" investment in our community's commercial real estate, and in my opinion, resulting in underwhelming connection, care, and cohesiveness with our community and the tenants.

The ethos of all of our businesses is strongly centered around small scale, with an emphasis on the power and uniqueness of the individual (the individual employee, client, etc.). This building is large. It could support one or two large business spaces, but that is not our passion and also not what we believe our town needs. Many of the commercial tenant spaces, both occupied and unoccupied, in our downtown are larger than what many small businesses need and can afford. Many are disproportionately large in comparison to their frontage and presence to their potential customers. This makes starting a new restaurant or retail store unattainable for many, or overly burdensome for those that can make the upfront and ongoing financial commitment, leaving very little room for profitability and sustainability. This business model provides access and more financial balance for small business owners and entrepreneurs. By sharing the costs of design, permitting, construction, and operations, we believe that the small business has a better chance to thrive and focus more on their craft than business survival.





The Livery on Main – Response to DRB Comments

We are excited and grateful to be presenting to you an updated and much-improved project. In addition to your feedback, we have benefited from rethinking and fine-tuning the vision and the logistics of this project with a better understanding of the new reality in which we are living. This has been a trying time for all of us, and there is still a lot to be considered “unknown” in our futures. Ironically, we have never believed more in this town and this project than we do now. Many small businesses are struggling to stay afloat under these circumstances, and this design and model will provide a much more versatile and resilient foundation for those to operate. Our model already optimizes current restaurant requirements with outdoor seating on every level, curbside pickup stations for each kitchen, and smaller kitchens allowing less staff to be present to operate. These features, combined with shared staffing, delivery, and point of sale, reduce the load for each individual, creating an ecosystem of small local businesses ready for current challenges and beyond.

General building:

The previous meeting helped us realize how large and important this project is, and for that we thank you. Your comments helped us realize that we have an “awesome opportunity” to “completely transform” this important building situated on a prominent street corner of Sebastopol, versus merely “dressing up the building.” These recommendations inspired us to focus on three new areas: historical reference, regional agricultural influence, and a modern barn reference. We believe this new and improved design reflects the level of respect and detail deserved by this project and this review process.

Exterior material and color:

We researched the history of the property and found that the original building that stood here in the late 1800s was a brick masonry building. Using this new knowledge, we felt it was appropriate to pay respect to its past and capture this historical element while complimenting it with more modern materials including smooth stucco, smooth-surfaced cedar siding, and exposed roof structure. The color and smooth consistency of the stucco is intentional, creating a background compliment the texture and natural appearance of the cedar and brick.

Third level design:

Comments from the design review board concerning the third level deck were positive. Our new design developed two deck areas. One is more garden focus, and one is covered with an outdoor kitchen and lounge area. We also increased the area of the original covered and secured bar area. This space is now a larger modern barn multi-purpose area integrated with the Burnett Street entry lobbies. The floating roof shown in the original drawings is now, along with the heavy timber rafters, a prominent feature of the third level and the entire building. Also, the mechanical platform helps balance the building and provides a focal point for the new stairs in the alley. This feature references local water tower structure.

Entries:

The importance of the building corner was mentioned many times at the previous meeting. We explored many options for the corner and consistently came back to the same conclusion that creating a significant focal point on the corner of the building would take away from the entrance/vertical circulation features. The main entries are now the focal point for both Burnett Street and S. Main Street. The brick extends beyond the base level to highlight these entries. We determined that the entire building represents the corner of the block. This new design brings a lot of breadth and depth to this intersection while not overwhelming the other structures and landscapes nearby. We also believe that the proposed landscaping and art installation(s) will also enhance the project's appeal and provide an attractive presence. Moving an entry to the corner was not a workable option as we feel it is essential for this area to be a sitting area for future customers rather than merely a transitional space to get to another part of the building. We believe this building now creates a strong corner presence.

The west alley:

We agreed with the feedback regarding this alley feeling like a back entrance and/or dark. We also used this redesign to move the stairs into this space to make them more visible and usable for future customers.

This change also proved to be an important solution for mechanical and venting. We utilized the shelter for this stairwell to not only protect customers from the elements but also to further remove the sound and smell that comes with this equipment from common area space on the third level.

From: Grace Meeks <GraceM@BuildersStudioInc.com>
Sent: Monday, November 30, 2020 12:00 PM
To: Alan Montes
Cc: Gregory Beale
Subject: The Livery - Update

Alan,

I hope you had a wonderful Thanksgiving.

I was disappointed at our Nov 18th meeting, because we didn't get approval. As always, I appreciate your support and hope that we will have a successful meeting on Dec. 9th.

We have been working hard to address the three issues in which the Board requested our additional consideration.

1. The column base: We are removing the existing concrete bases.
2. The mechanical platform: We considered several options on this and will be submitting the one that we think works best aesthetically and functionally.
3. Trellis drawings and information: The trellis information is still shown on the landscape drawings and the full landscape package is now part of the approval package. This will give you and the Board all the information concerning the trellises and if there is not enough time to review the rest of the landscape info, that portion of the submittal can be approved at a later date.

We will be sending you an electronic copy of the updated plans tomorrow as well as 7 printed sets. This will include the architectural and the landscape drawings.

Let me know if there is anything else you need from us by the end of Dec. 1st.

Thank you.

Grace Meeks

Architect

License No. C 27576

Builders' Studio OF SEBASTOPOL

Office: (707)827-3388

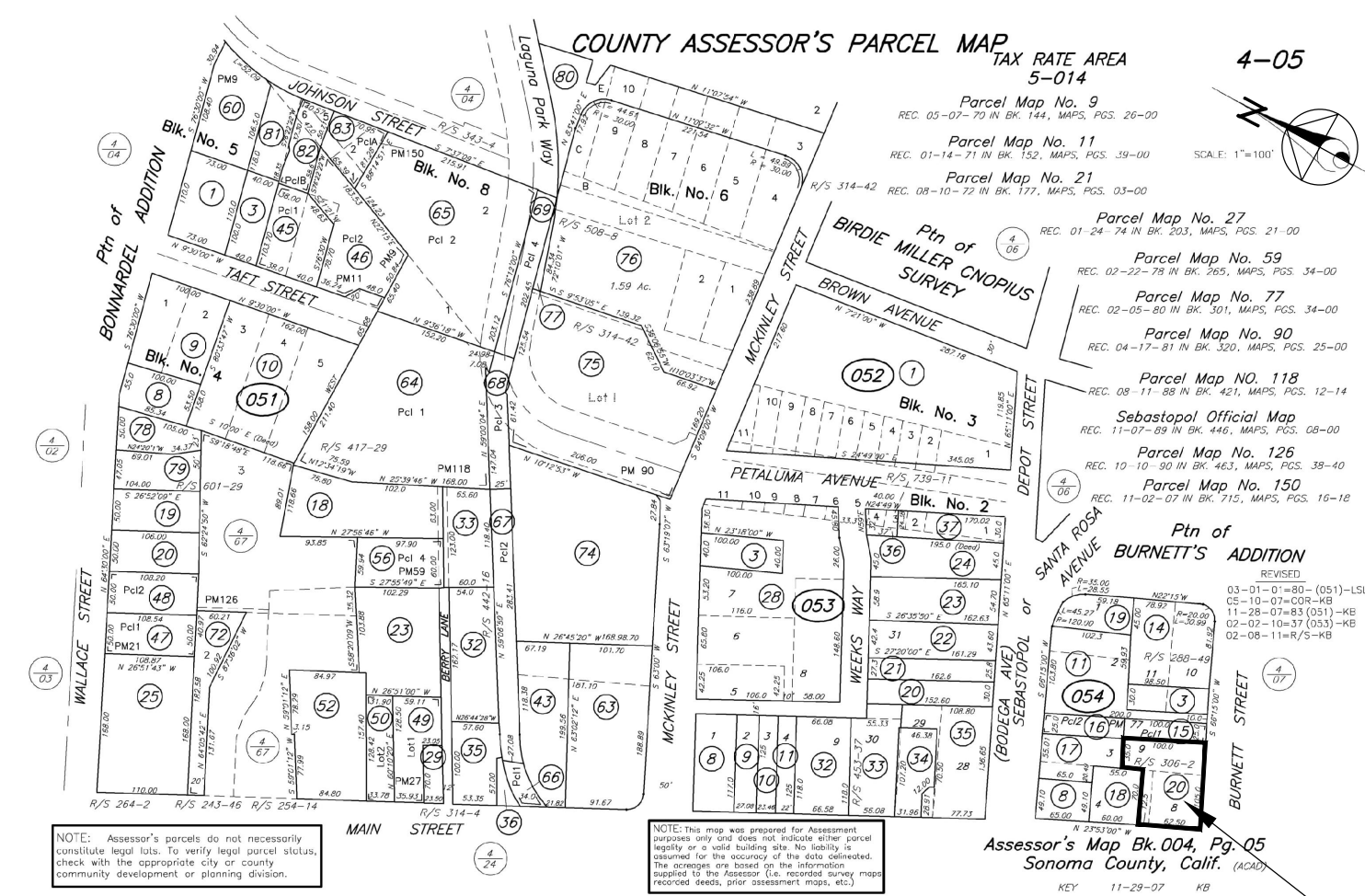
Mobile: (707)291-0707

369 So. Main St.

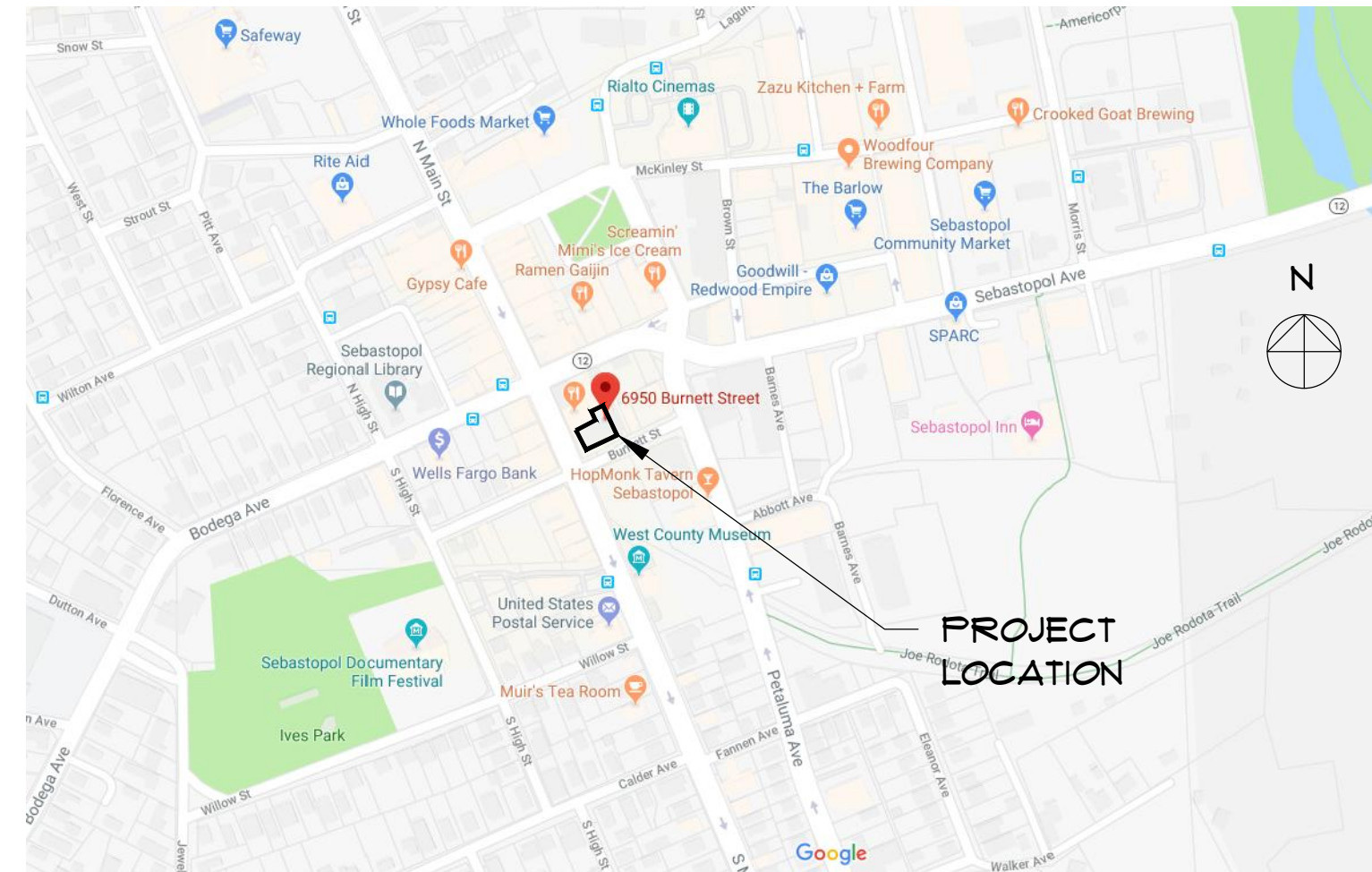
Sebastopol CA 95472

www.buildersstudioinc.com

A.P.N. MAP:



VICINITY MAP:



PROJECT LOCATION



BUILDING USES:

HISTORICAL USES:	PROPOSED USES:
1ST LEVEL: RESTAURANT/RETAIL/OFFICE SPACE	SINGLE TENANT FOR ENTIRE BUILDING, WITH MULTIPLE LICENSEES, TO CONSIST OF RESTAURANT RELATED SERVICES AND SPACES.
2ND LEVEL: OFFICE AND STORAGE SPACES, 3 OUTDOOR BALCONIES	1ST LEVEL: MULTIPLE KITCHENS WITH COUNTER SERVICE, STORAGE, RETAIL, INDOOR AND OUTDOOR SEATING
3RD LEVEL: ROOF TOP EQUIPMENT	2ND LEVEL: EAT/WORK SHARED OFFICE SPACES, TASTING ROOM, ALL WITH ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS.
	3RD LEVEL: MULTI-PURPOSE OUTDOOR DINING AND EVENT SPACE W/ BEVERAGE SERVICE AND ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS.
	3RD LEVEL ROOF: SOLAR PANELS & ROOFTOP EQUIPMENT

DEFERRED SUBMITTALS

- DEFERRED SUBMITTALS FOR DESIGN REVIEW:**
- EXTERIOR LIGHTING
 - SIGNAGE
 - LANDSCAPING
 - TENANT IMPROVEMENTS
- CURRENT ASSUMPTIONS FOR THE DEFERRED SUBMITTALS ARE AS FOLLOWS:**
- EXTERIOR LIGHTING (DEFERRED SUBMITTAL)
 - A. EXTERIOR LIGHTING WILL BE FROM A VARIETY OF SOURCES, NO BRIGHTER OR HIGHER THAN NECESSARY TO PROVIDE ADEQUATE LIGHTING FOR VISIBILITY AND SECURITY.
 - B. THE STYLE, INTENSITY AND ORIENTATION OF LIGHTING WILL BE DESIGNED TO LIMIT GLARE FOR VEHICULAR TRAFFIC, PEDESTRIANS OR NEIGHBORS. IT WILL ALSO MINIMIZE UPWARD GLARE.
 - C. LIGHTING FIXTURES WILL BE SHIELDED OR OTHERWISE DESIGNED TO MINIMIZE UPWARD GLARE.
 - D. ENERGY-EFFICIENT LIGHTING WILL BE PROVIDED. SOLAR-POWERED LIGHT WILL BE UTILIZED WHENEVER POSSIBLE.
 - SIGNAGE (DEFERRED SUBMITTAL)
 - A. THE SIGN PACKAGE, IN THE DEFERRED SUBMITTAL, WILL BE INTEGRATED INTO THE REMODEL OF THE FACADE AND BUILDING.
 - B. SIZE, SHAPE, COLOR, TEXTURE AND LIGHTING OF THE SIGNS WILL BE COMPLEMENTARY TO THE OVERALL DESIGN OF THE BUILDING.
 - C. SIGNS WILL BE VANDAL AND WEATHER RESISTANT.
 - D. SIGNS WILL BE PROFESSIONAL CONSTRUCTED USING HIGH QUALITY NATURAL MATERIAL.
 - E. EXTERIOR LIGHTING THAT IS USED FOR SIGNS SHALL BE MEET ALL GUIDELINES FOR SIGNAGE AND FOR EXTERIOR LIGHTING.
 - LANDSCAPE (DEFERRED SUBMITTAL)
 - A. PRELIMINARY LANDSCAPE PLANS, FINAL LANDSCAPE PLANS AND IRRIGATION PLANS WILL BE PROVIDED PER CITY REQUIREMENTS.
 - B. THE PLANS WILL ADHERE TO THE CITY'S WATER REDUCTION IN LANDSCAPING ORDINANCE.

SOLAR INFORMATION

- SOLAR - PHOTOVOLTAIC PANELS:**
- THE NUMBER OF PANELS SHOWN ON THESE DRAWINGS ARE BASED ON THE PRESCRIPTIVE METHOD OF 2 WATTS PER SQUARE FOOT OF CONDITIONED SPACE.
 - PHOTOVOLTAIC PANELS WILL BE INSTALLED ACCORDING TO THE GUIDELINES PROVIDED BY SEBASTOPOL.
 - EXPANSION AREA PROVIDED AT SECOND LEVEL TRELLIS FOR SOLAR PANELS TO MEET 118% OF REQUIRED PANELS BASED ON CALCULATION BELOW.
 - CALCULATIONS BASED ON JINKO EAGLEPERC2-400M-124L-V PANEL
 - 3,066 SF OF CONDITIONED SPACE
 - 2 WATTS PER SF
 - 18,132 WATTS
 - 400 WATTS FOR EACH PANEL
 - 45.33 PANELS REQUIRED
 - SPACE FOR APPROXIMATELY 88 PANELS

PROJECT TEAM:

OWNER:	BEALE GROUP PROPERTY, LLC 555 S. MAIN STREET SUITE 1 SEBASTOPOL, CA 95412 707.821.1616
ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 707.821.1609 GREGORY BEALE, GREGORY@BUILDERSSTUDIOINC.COM GRACE MEEKS, GRACE@BUILDERSSTUDIOINC.COM
STRUCTURAL:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 KATE GOEDE, KATE@BUILDERSSTUDIOINC.COM
LANDSCAPE ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 JESSICA NORLING, JESSICA@BUILDERSSTUDIOINC.COM
ELECTRICAL:	BROKAW DESIGN 6060 DAWN DRIVE ROHNERT PARK, CA 94921 707.193.6822 COURTNEY CHUENTYANE, COURTNEY.CHUENTYANE@BROKAWDESIGN.COM
MECHANICAL/PLUMBING:	TEP ENGINEERING 880 SECOND STREET SANTA ROSA, CA 95404 707.538.0400 ROB MAIN, F.E., ROB@TEP.NET
ENERGY/CALGREEN:	GILLERAN ENERGY MANAGEMENT 1504 DAVIS ST. SANTA ROSA, CA 95401 KEVIN GILLERAN, KEVIN@GILLERANENERGY.COM
KITCHEN/RESTAURANT DESIGN:	BALLINGER RESTAURANT EQUIPMENT, INC. 1000 AFOLLO WAY, SUITE 110 SANTA ROSA, CA 95401 707.544.8924 LARRY BALLINGER, LARRY@BREQUIPMENT.COM
CONTRACTOR:	THRIVE CONSTRUCTION GROUP 555 S. MAIN ST., SUITE 1 SEBASTOPOL, CA 95412 707.821.1600

AREA TABULATION:

EXISTING CONDITIONED SPACE	PROPOSED CONDITIONED SPACE
First Level	First Level
Conditioned Space	Conditioned Space
Second Level	Second Level
Conditioned Space	Conditioned Space
Total Conditioned Space 10,795 sf	Total Conditioned Space 9,066 SF
Other	Other
UPS Building - Not part of project	UPS Building - Not part of project
849 sf	849 sf
EXISTING EXTERIOR / NON CONDITIONED SPACE	PROPOSED EXTERIOR / NON CONDITIONED SPACE
First Level	First Level
Trash Enclosure	Trash Enclosure
300 sf	300 sf
Outdoor Covered Space	Outdoor Covered Space
712 sf	579 sf
Porch Area - Outdoor seating area	Porch Area - Outdoor seating area
684 sf	684 sf
Exterior Lobby - Burnett Street	Exterior Lobby - Burnett Street
798 sf	798 sf
Subtotal 2,012 sf	Subtotal 2,355 sf
Second Level	Second Level
Deck Area	Deck Area
2,061 sf	2,426 sf
- Southwest	- Southwest
1,596 sf	1,280 sf
- West Above UPS	- West Above UPS
90 sf	396 sf
- North	- North
375 sf	375 sf
Deck above Trash	Deck above Trash
122 sf	122 sf
Roof Top	Roof Top
796 sf	796 sf
- Above UPS	- Above Alley
266 sf	415 sf
- Above Alley	Deck above Trash
470 sf	394 sf
Subtotal 2,919 sf	Subtotal 713 sf
Third Level (Roof Level)	Third Level
Mechanical Space	Covered - Multi-Purpose Space
5,677 sf	2,430 sf
Subtotal 5,677 sf	Garden Deck - West Side
	1,791 sf
	Trellis Deck - North Side
	1,044 sf
	Exterior Lobby - Burnett Street
	713 sf
	Mechanical Space/Landscape Area
	179 sf
	Storage Space
	193 sf
	Subtotal 6,350 sf
	Third Level Roof
	Mechanical Space/Solar Panels (Above Covered Multi-Purpose Space)
	2,213 sf
	Mechanical Space (Above Stair off S. Main Street)
	513 sf
	Mechanical Space (Above Storage)
	193 sf
	Subtotal 2,919 sf
	Total Exterior / Non Conditioned Space 14,917 sf

SUMMARY SCOPE OF WORK:

THIS DESIGN REVIEW APPLICATION IS FOR THE REMODEL OF THE BUILDING SHELL THAT INCLUDES THE EXTERIOR AND GENERAL LAYOUT OF THE INTERIOR.

THE EXTERIOR OF THE BUILDING IS BEING MODIFIED IN THE FOLLOWING WAY:

- MATERIAL CHANGE
- WINDOW/DOOR OPENINGS ARE BEING MODIFIED
- FIRST FLOOR PORCH AREA WITH GLASS ROLL-UP DOORS
- 3RD LEVEL ADDED W/ GARDEN/LANDSCAPE AREA TO THE WEST & A COVERED AREA ON THE NORTH DECK.
- MECHANICAL PLATFORM ADDED ABOVE STAIRWAY OFF S. MAIN ST. & ON ROOF OF 3RD LEVEL.

THE INTERIOR OF THE BUILDING WILL BE MODIFIED TO ALLOW FOR LICENSEES. THE GENERAL LAYOUT IS SHOWN FOR REFERENCE. THE RESTROOMS, RAMPS, AND OTHER SHARED SPACES WILL BE PART OF THE SHELL BUILDING PERMIT:

- THE FIRST LEVEL LAYOUT SHOWS 5-6 AREAS FOR POTENTIAL LICENSEES.
- THE SECOND LEVEL DIAGRAMMATICALLY SHOWS A CENTER CIRCULATION AREA WITH RESTROOMS. THE REST OF THE SPACE IS TENANT SPACE.
- THE THIRD LEVEL SHOWS THE DEVELOPMENT OF AN OUTDOOR TENANT/PUBLIC SPACE WITH AN ENCLOSED AREA (NON-CONDITIONED) THAT CAN BE SECURED, SEATING AREA UNDER A TRELLIS AND SEATING AREA OPEN TO THE SKY. THIS AREA IS SEPARATE FROM THE UTILITY/MECHANICAL AREA BY A SOLID PARTITION WALL.

PROJECT DATA:

A.P.N. NUMBER:	004-054-010
ZONING:	A - CD - (COUNTOUN CORE) MULTIPLE COMBO/STORES & OFFICE
SITE LOCATION:	6950 BURNETT STREET, 125 S. MAIN STREET, 131 S. MAIN STREET, 133 S. MAIN STREET, 135 S. MAIN STREET, SEBASTOPOL, CA 95412
LOT AREA:	0.21 ACRES
OCCUPANCY:	GROUP A-2, RESTAURANTS, CAFETERIAS, AND SIMILAR DINING FACILITIES (INCLUDING ASSOCIATED COMMERCIAL KITCHENS)
CODE:	2019 CBC, 2019 CRC, 2019 CALGREEN
CONSTRUCTION:	TYPE VA, FULLY SPRINKLERED

FAR

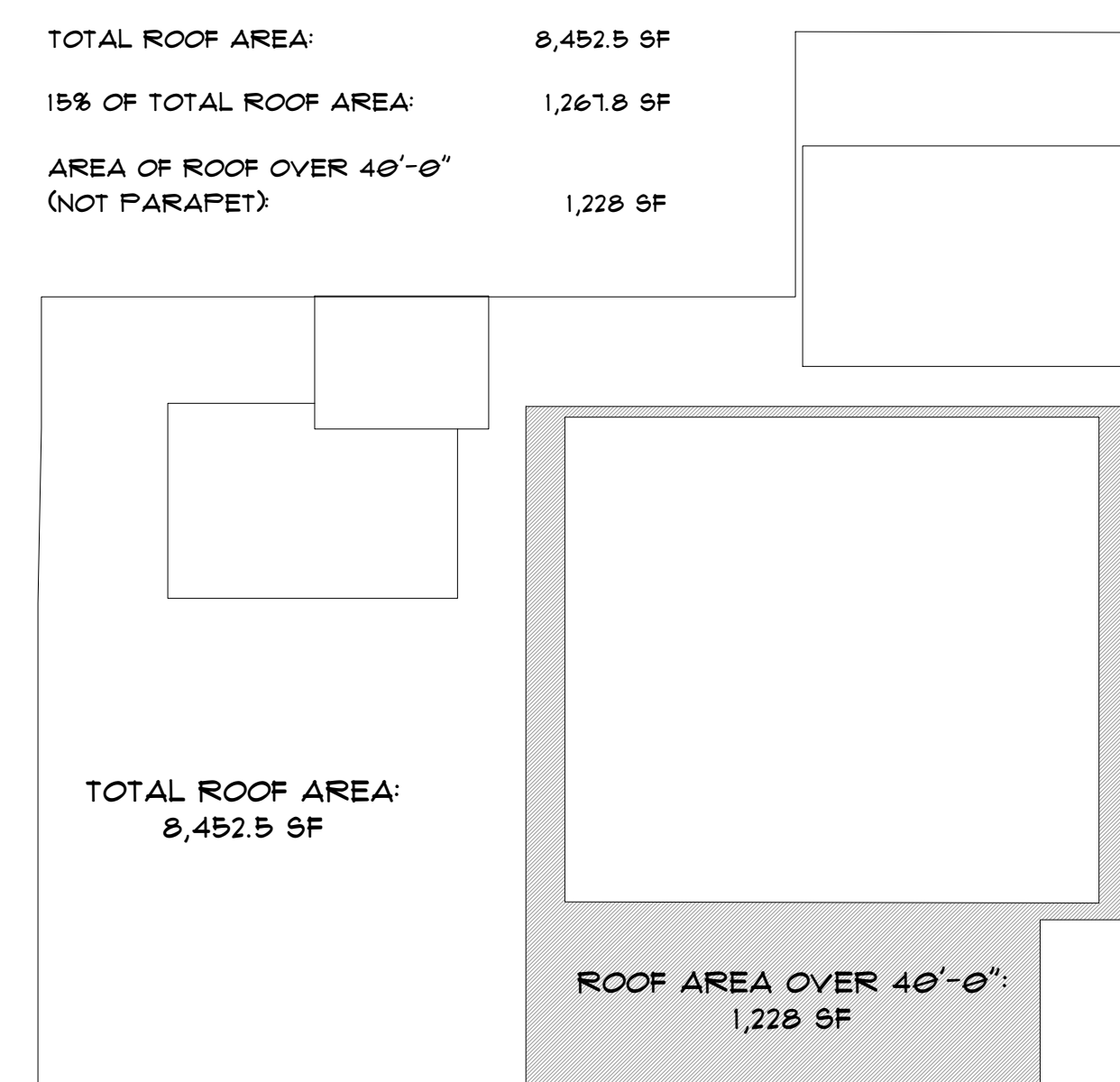
ALLOWABLE FAR: 1.0-2.5

EXISTING GROSS FLOOR AREA - 13,735 SF
SITE AREA - .21 ACRES = 9,141.6 SF
EXISTING FAR: 13,735/9,141.6 = 1.50

PROPOSED GROSS FLOOR AREA - 19,643 SF
SITE AREA: .21 ACRES = 9,141.6 SF
PROPOSED FAR: 19,643/9,141.6 = 2.141

GROSS FLOOR AREA INCLUDES INTERIOR SPACES AND EXTERIOR AREAS THAT ARE COVERED. IT DOES NOT INCLUDE TRELLIS AREA.

ROOF AREA:



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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
09/15/20		DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
10/01/20		RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GB
12/11/20		RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GB

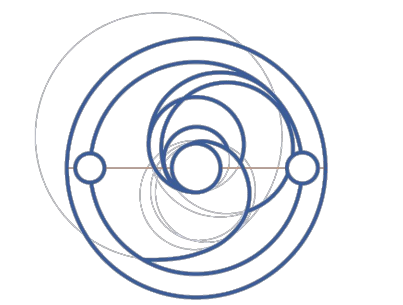
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95412
040-054-010



TITLE SHEET, NOTES, MAPS, SITE PLAN & LIST OF EXT FINISHES

SHEET
A0.0

PDF DATE 11/30/20



Builders Studio
OF SEBASTOPOL
555 SO. MAIN STREET SUITE 1
SEBASTOPOL, CALIFORNIA 95472
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WWW.BUILDERSSTUDIOINC.COM
CSL: 878243

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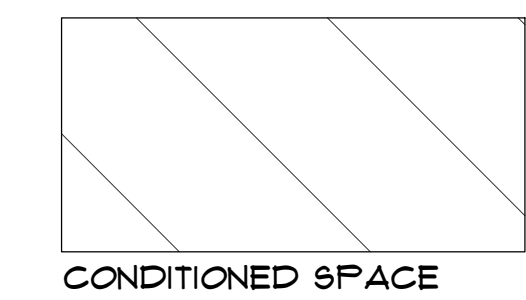
SHEET NOTES:

- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN THE BUILDING PERMIT SET.

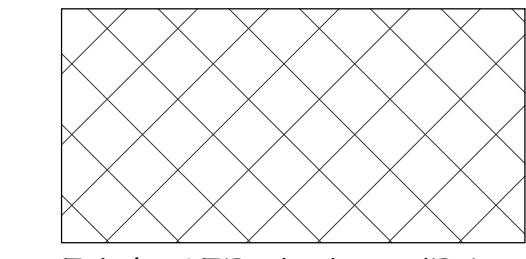
KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

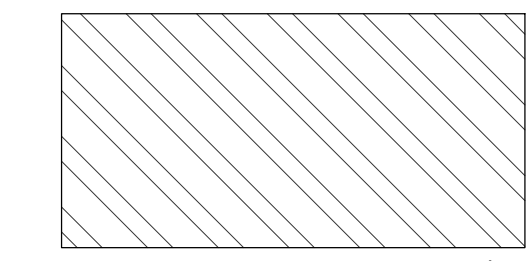
LEGEND:



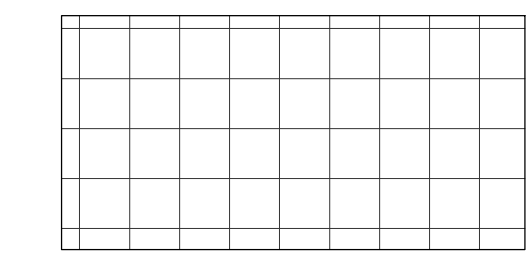
CONDITIONED SPACE



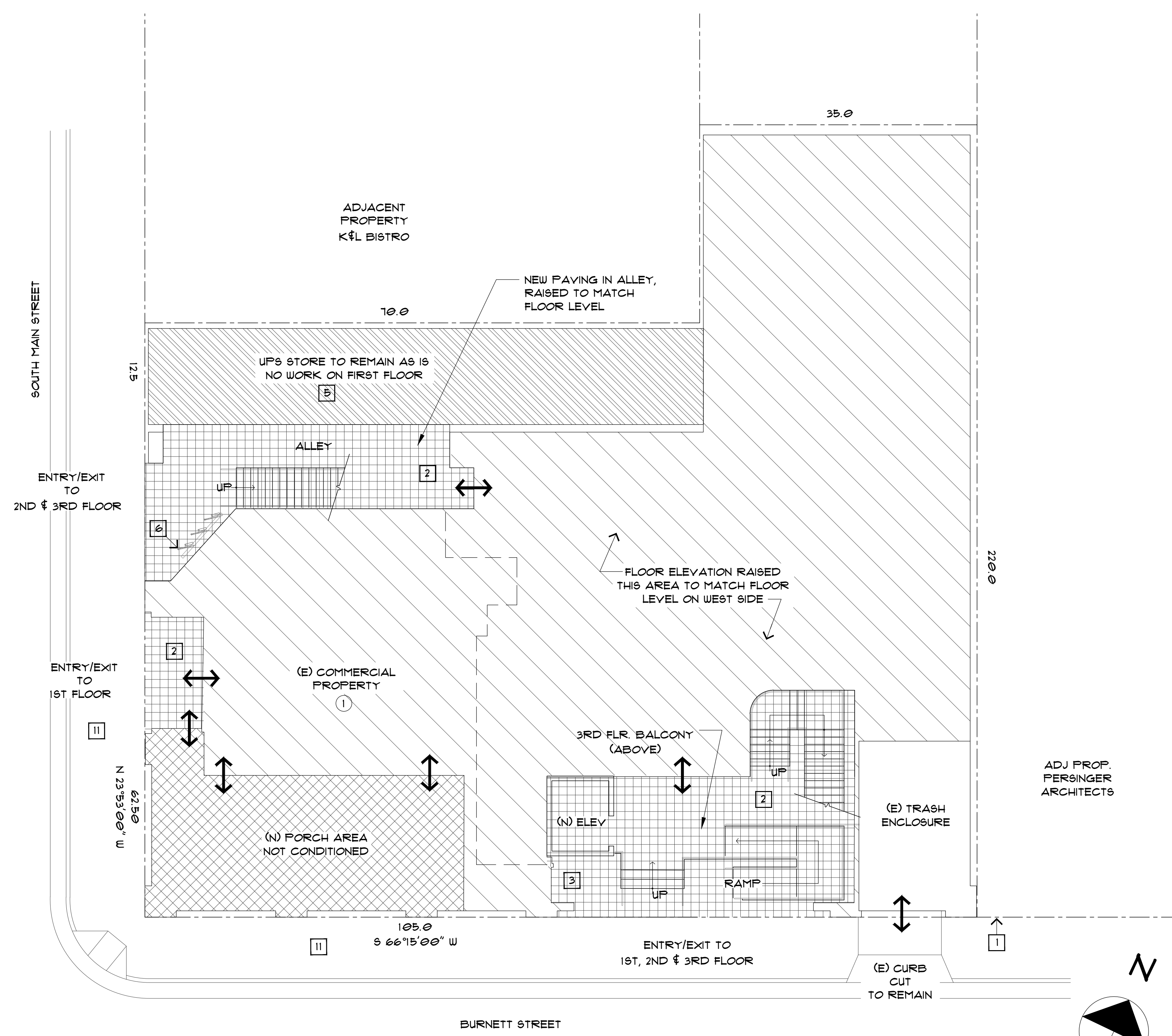
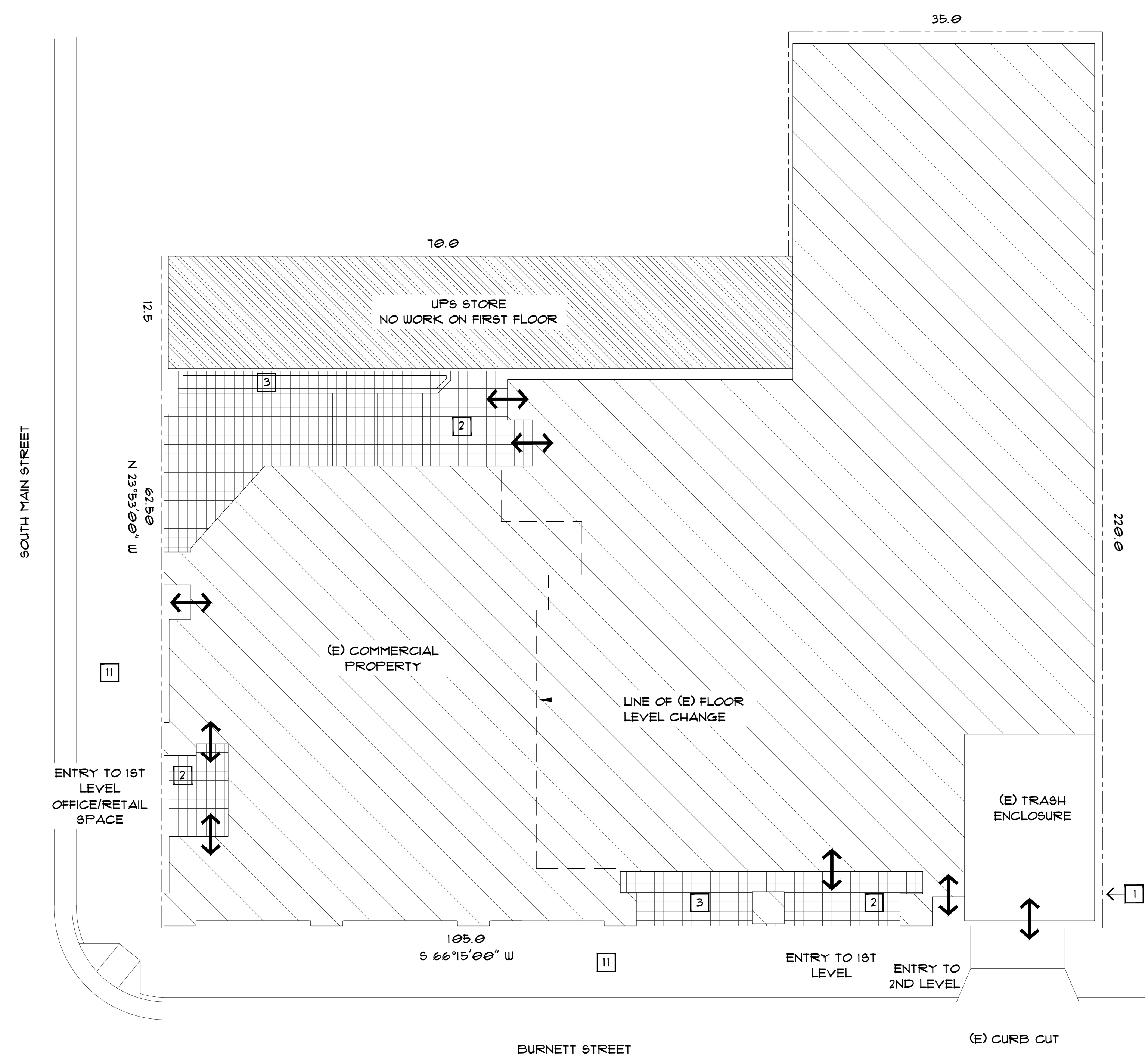
ENCLOSED NON-CONDITIONED SPACE



CONDITIONED SPACE W/ NO WORK



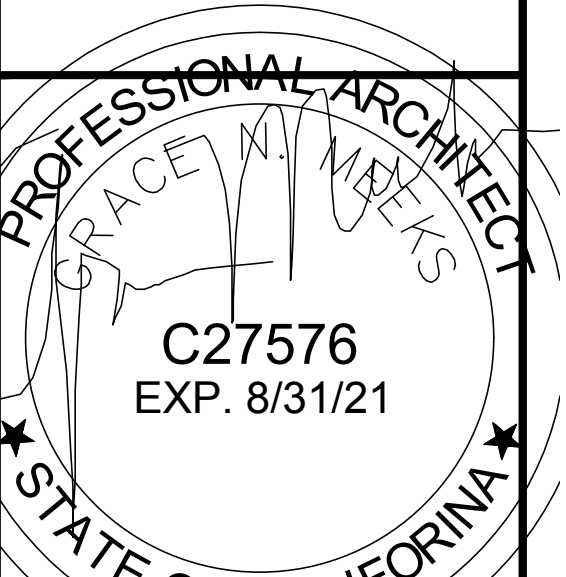
COVERED EXTERIOR AREA



REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
Δ	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

THE BEALE GROUP
THE LIVERY PROJECT

135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



TITLE SHEET, NOTES, MAPS, SITE PLAN & LIST OF EXT FINISHES

SHEET
A0.2

PDF DATE 11/30/20



1 FROM BURNETT STREET LOOKING WEST TOWARD SOUTH MAIN #2



2 ENLARGED VIEW FROM S. MAIN STREET AT CORNER OF BURNETT ST.



3 FROM PROJECT ENTRY LOOKING NORTH WEST ACROSS S. MAIN ST.



4 LOOKING SOUTH DOWN S. MAIN FROM PROJECT



5 FROM BURNETT STREET LOOKING TOWARD EAST PETALUMA AVE.



6 FROM S. MAIN LOOKING NORTH, NORTH OF PROJECT (UPS LIMIT OF SCOPE)



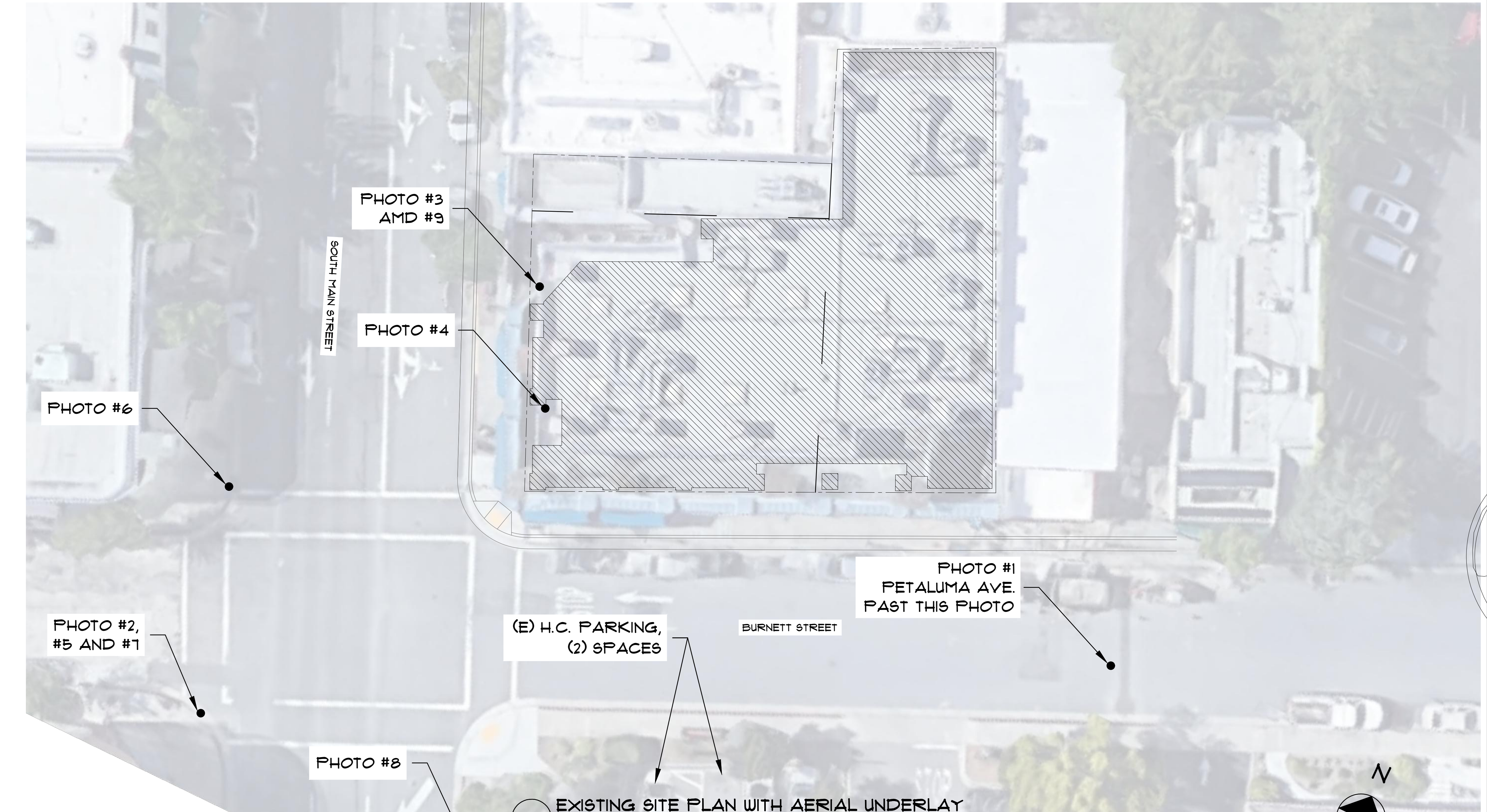
7 PANORAMIC LOOKING NORTH AND EAST



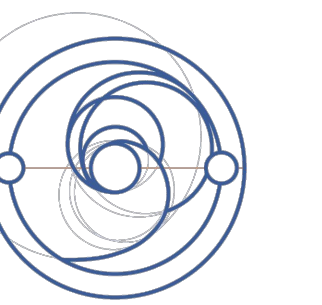
8 FROM BURNETT STREET LOOKING NORTH TOWARD BODEGA AVE./HWY. 12



9 FROM PROJECT ENTRY LOOKING SOUTH WEST ACROSS S. MAIN



10 EXISTING SITE PLAN WITH AERIAL UNDERLAY
N.T.S.



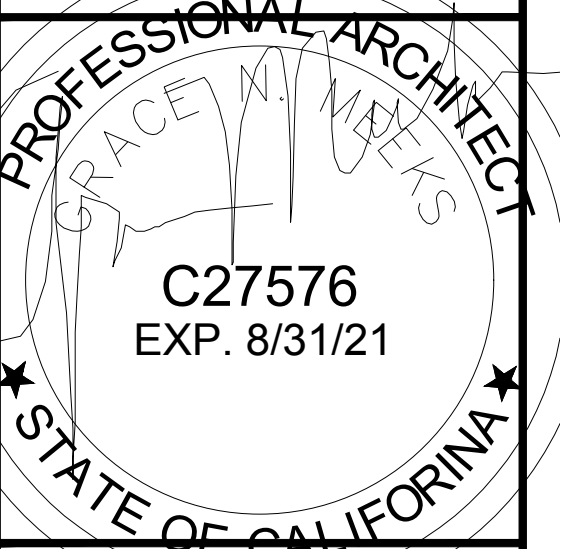
Builders Studio
OF SEBASTOPOL
555 SO. MAIN STREET SUITE 1
SEBASTOPOL, CALIFORNIA 95472
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WWW.BUILDERSSTUDIOINC.COM
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REV.	DATE	DESCRIPTION	DESIGNED GM, JN	DRAWN GM, JN	CHECKED GB
	09/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					

THE BEALE GROUP
THE LIVERY PROJECT

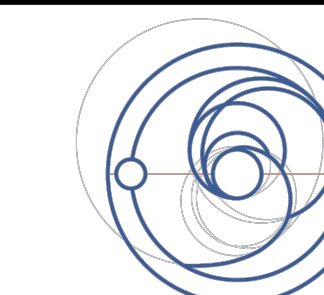
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



SITE PHOTOS

SHEET
A0.3

PDF DATE 11/30/20

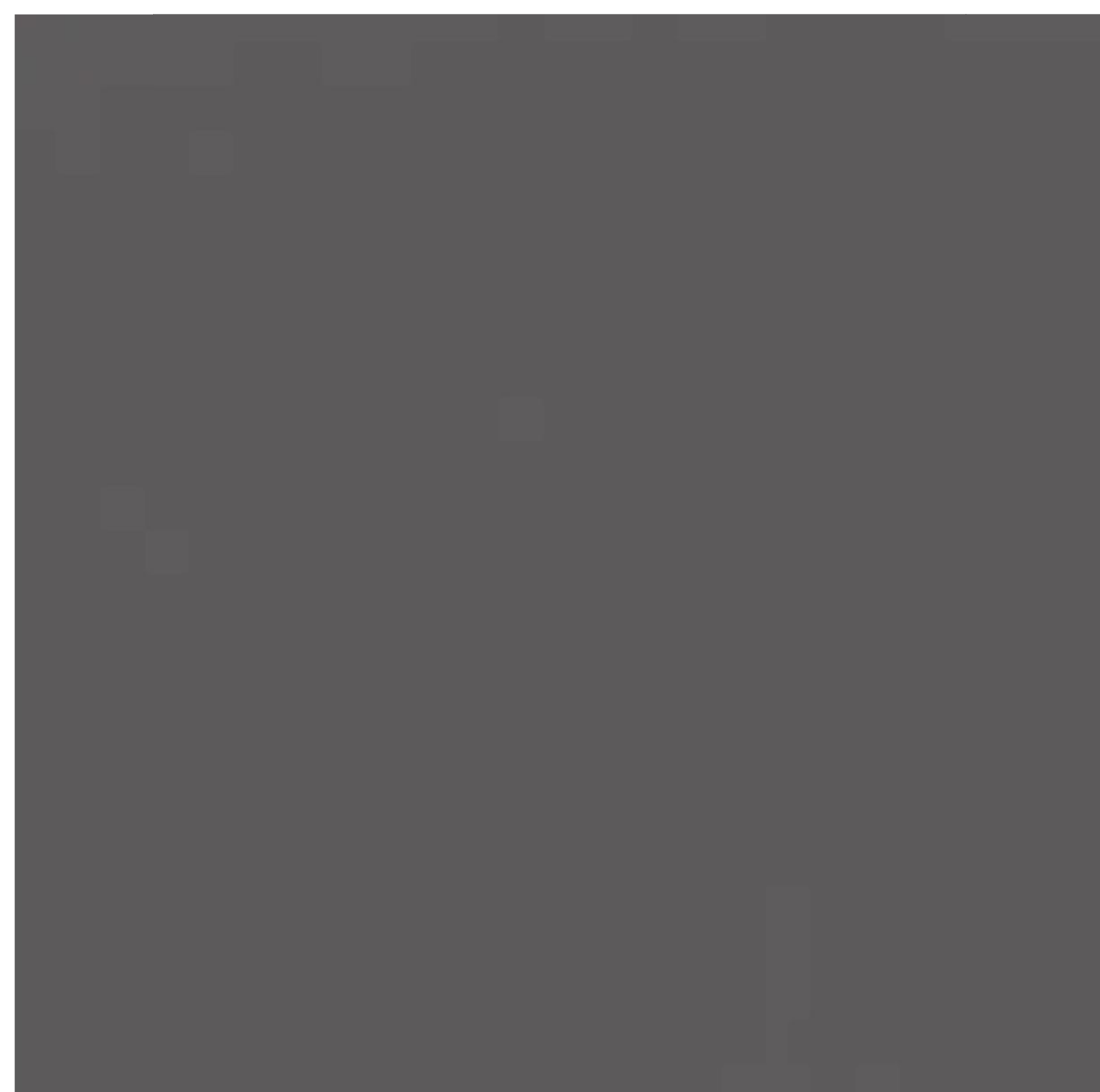


Builders Studio

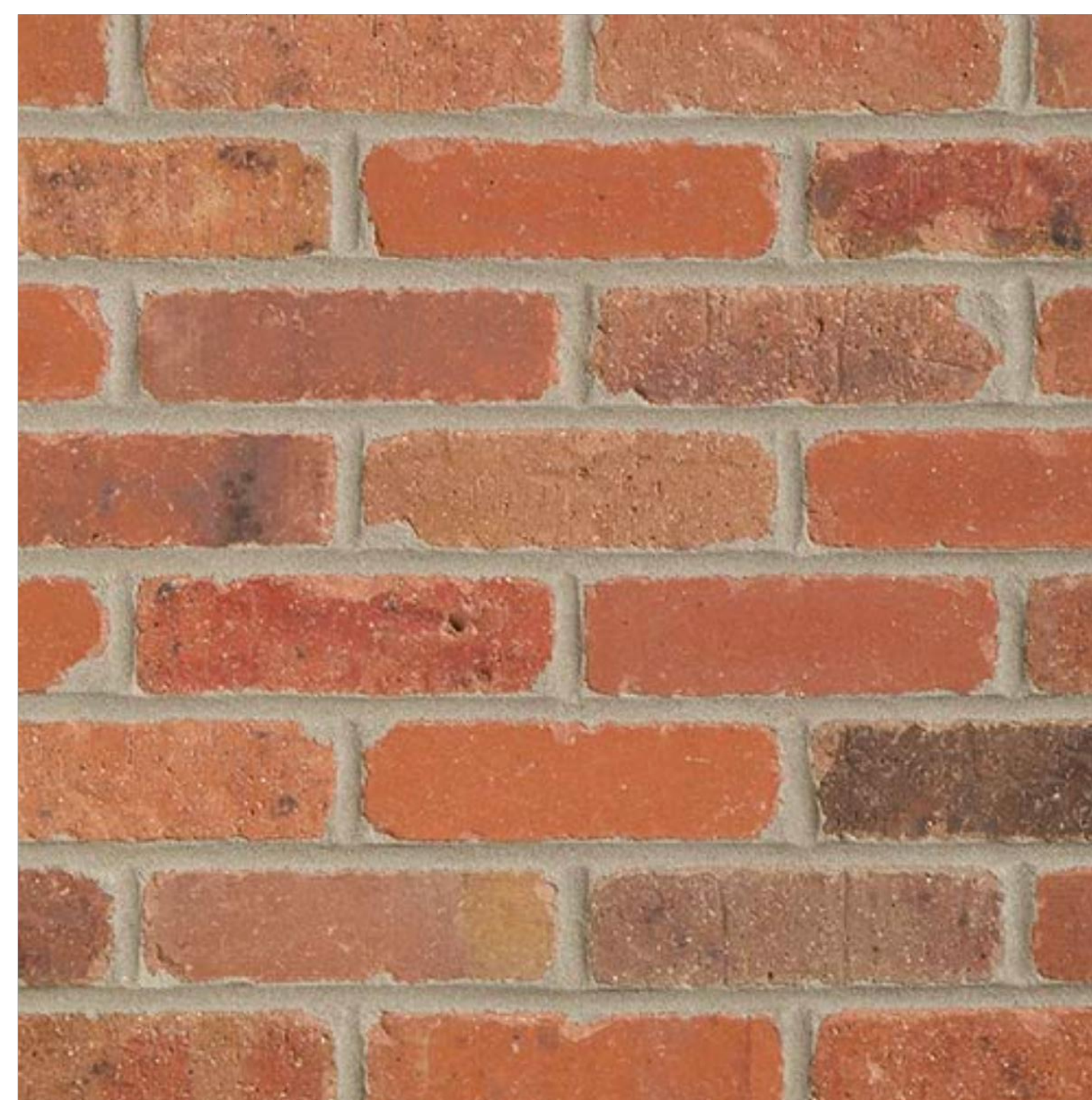
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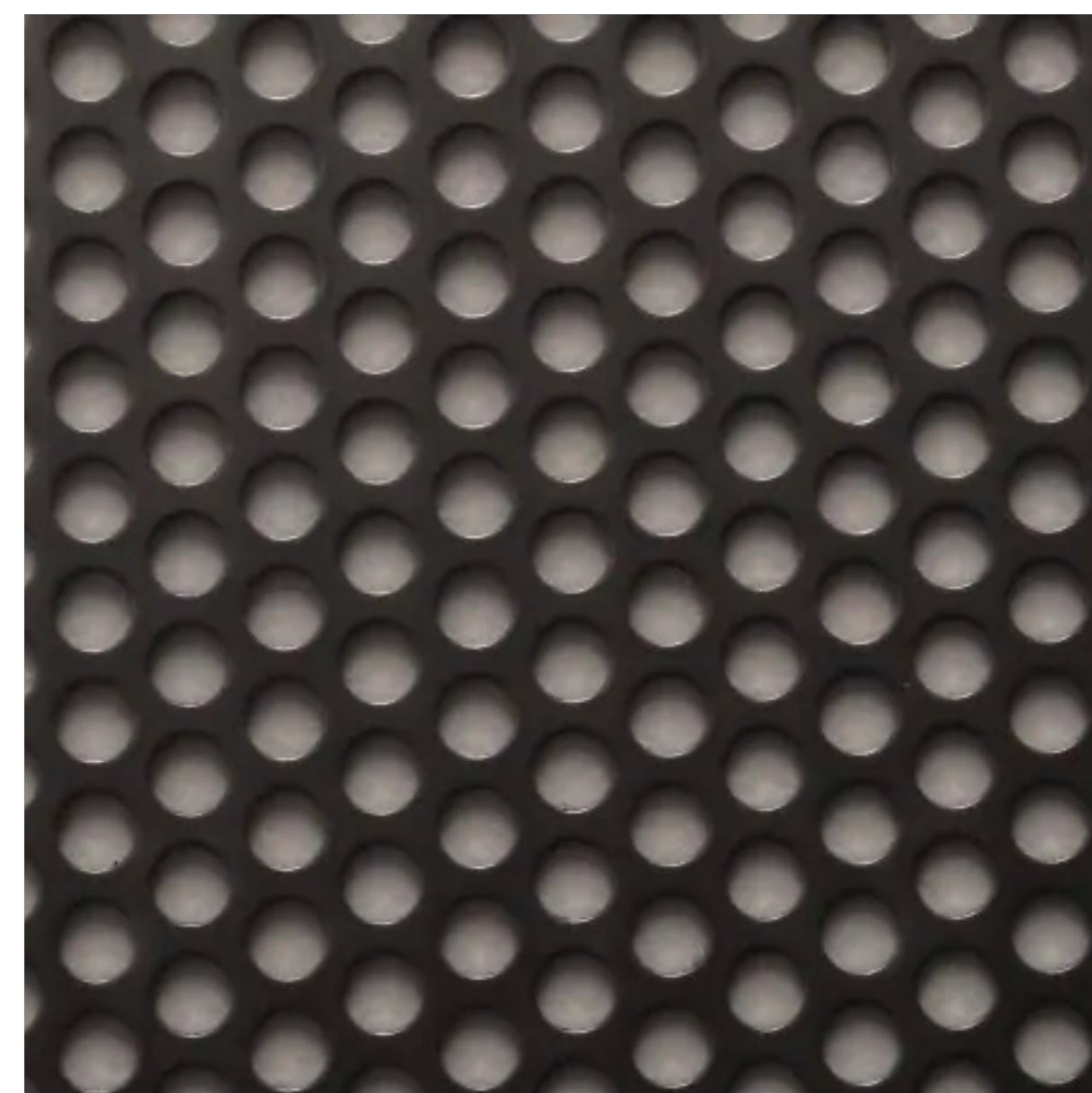
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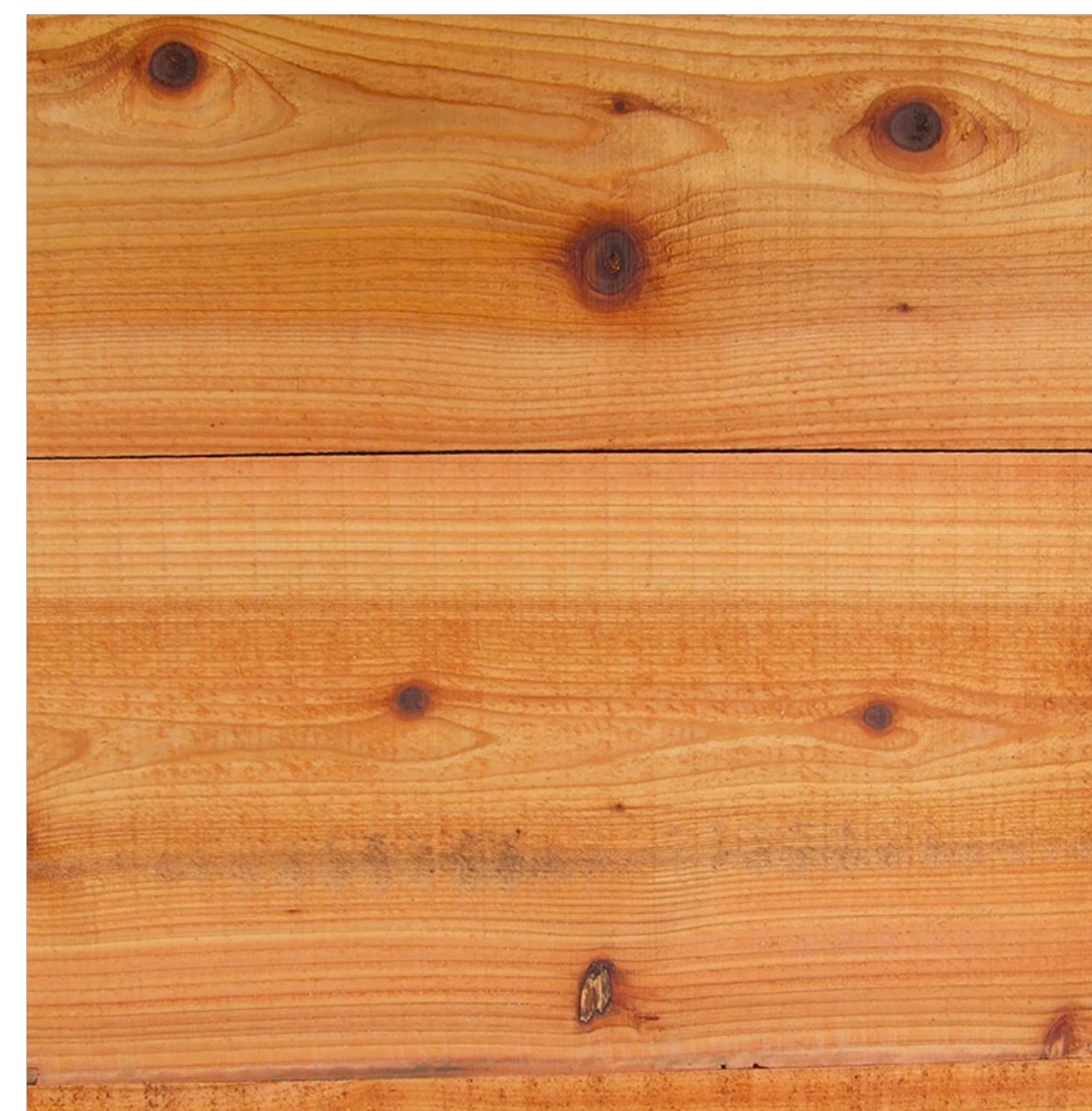
Stucco - Smooth
Color: DE6384 Iron Fixture



Thin Brick Cladding



Perforated Metal @ Railing
Color: DEA187 Black



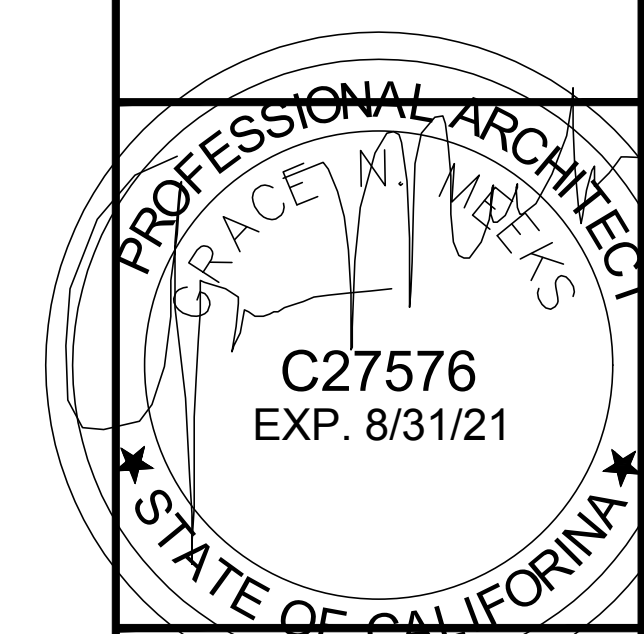
Cedar Siding
Color: Clear Finish

09.10.2020

The Livery On Main

COMMON STANDARD
COSTA MESA, CA 714.552.8280
www.commonstandard.com

THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



MATERIAL BOARD

SHEET

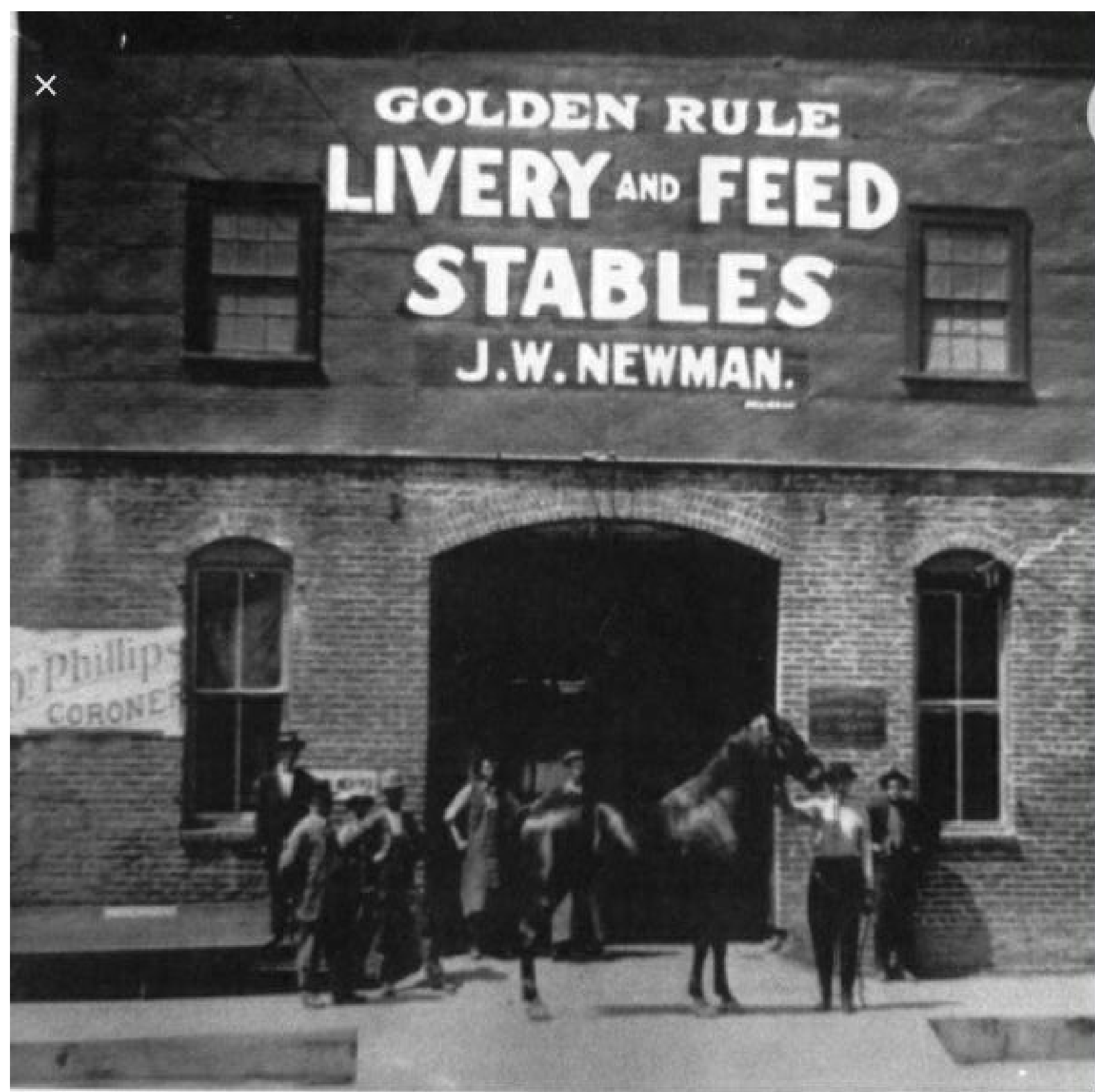
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PDF DATE 11/30/20

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/1/20	RESUBMITTAL - PLATFORM UPDATE			



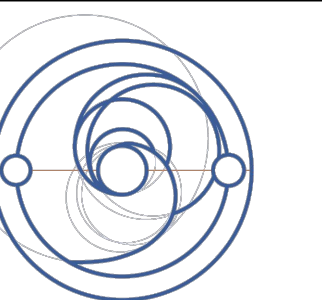
IMAGE IN PROGRESS - NOT FINAL



PRE-EXISTING ON SITE
BURNETT STREET AND S. MAIN STREET
CIRCA 1890



IMAGE IN PROGRESS - NOT FINAL



Builders' Studio

OF SEBASTOPOL

555 SO. MAIN STREET SUITE 1
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	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/11/20	RESUBMITTAL - ROOF UPDATE			
	12/1/20	RESUBMITTAL - PLATFORM UPDATE			

THE BEALE GROUP
THE LIVERY PROJECT

135 S. MAIN
SEBASTOPOL, CA 95472
040-054-070

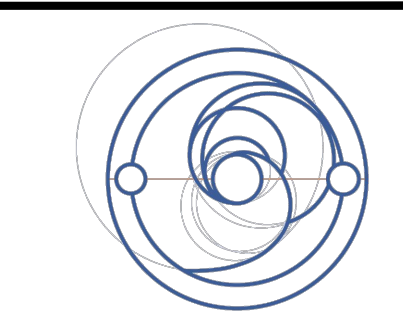


3-D IMAGES

SHEET

A0.5

PDF DATE 11/30/20



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SHEET NOTES:

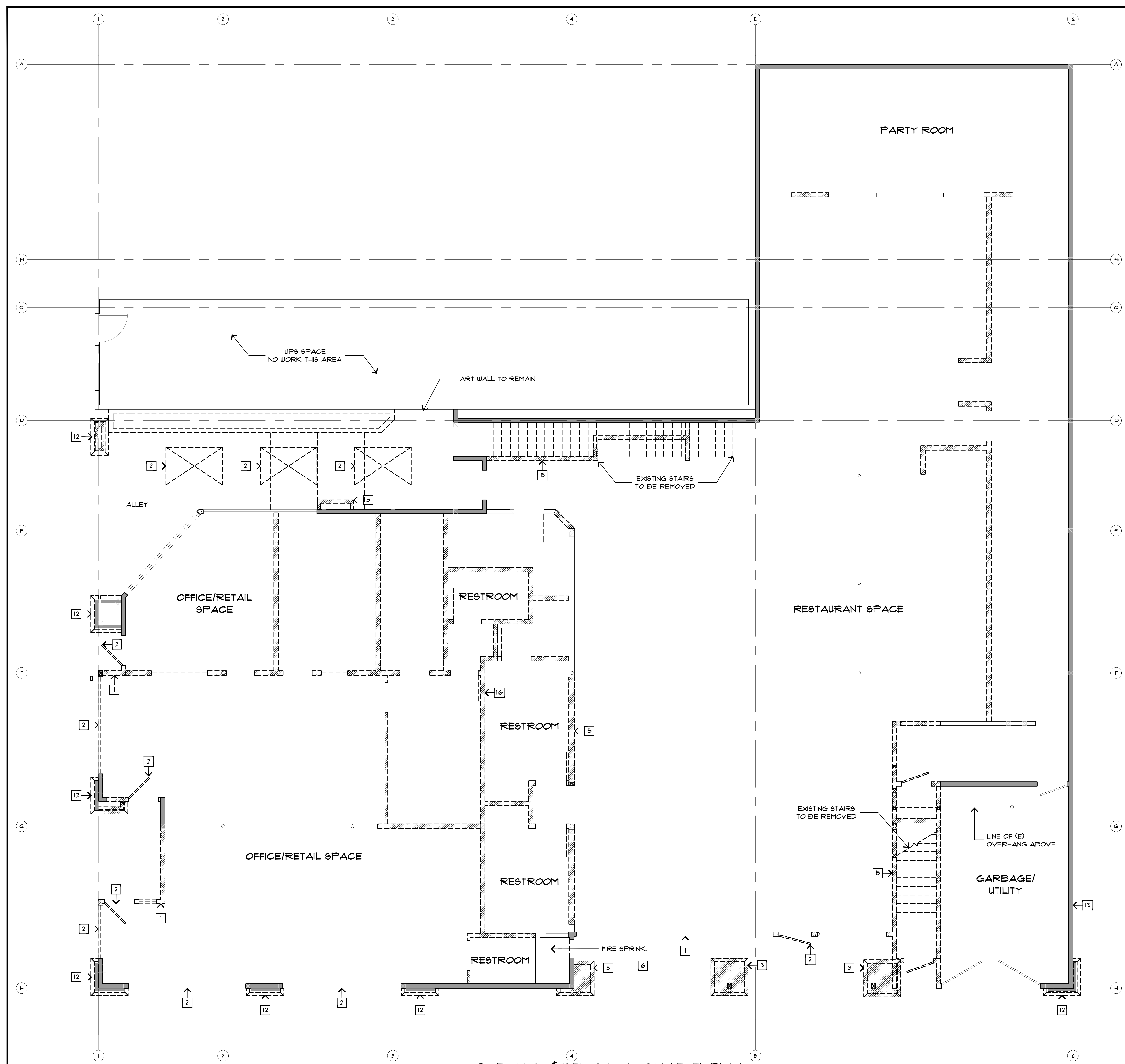
- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

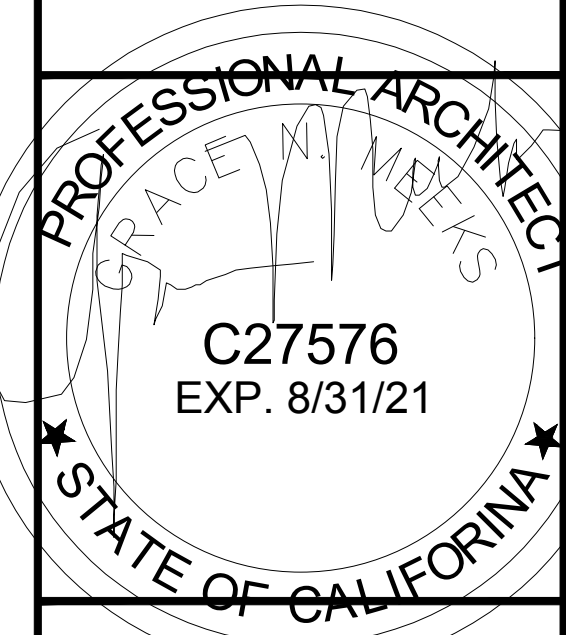
- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED



1 EXISTING & DEMOLITION FIRST LEVEL PLAN
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

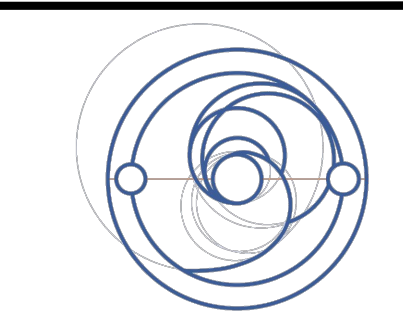
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



EXISTING AND DEMO
FIRST LEVEL PLAN

SHEET
A1.1

PDF DATE 11/30/20



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SHEET NOTES:

- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

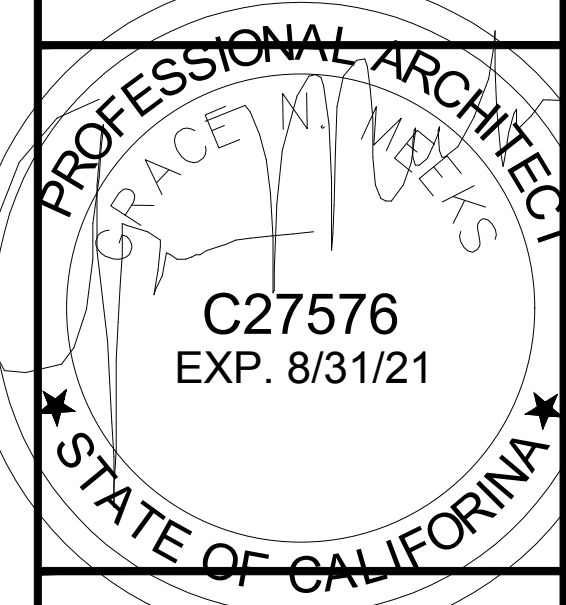
LEGEND:

- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED
- FLOOR TO BE REMOVED
- OVERHANG ABOVE TO BE REMOVED

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
Δ	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

THE BEALE GROUP
THE LIVERY PROJECT

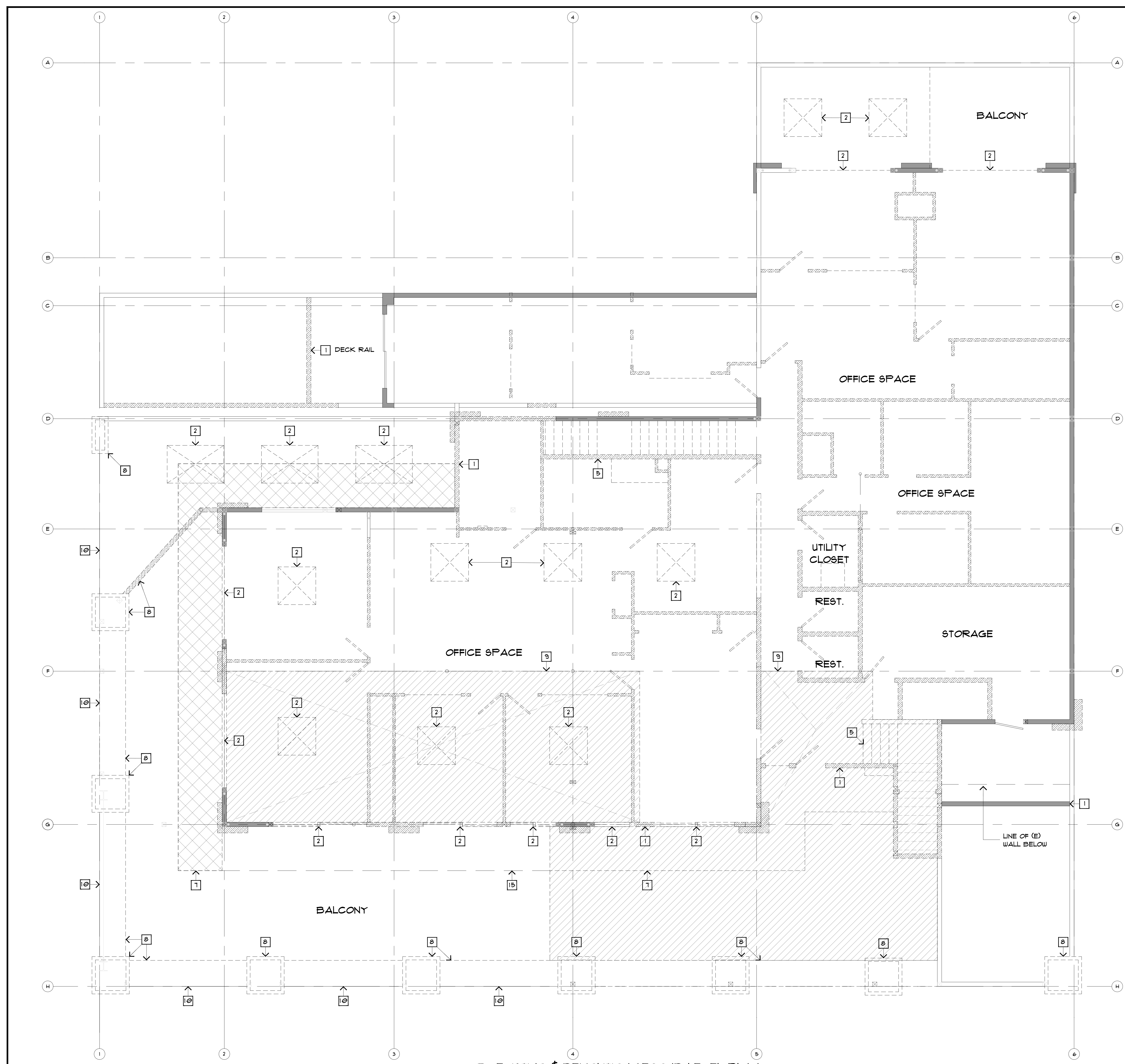
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



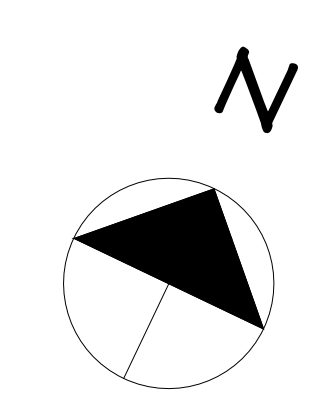
EXISTING AND DEMO
SECOND LEVEL PLAN

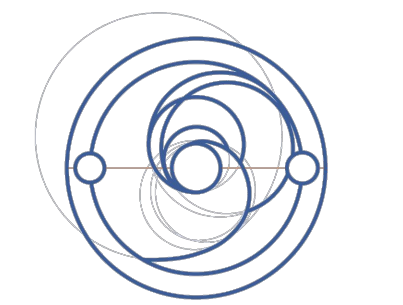
SHEET
A1.2

PDF DATE 11/30/20



1 EXISTING & DEMOLITION SECOND LEVEL PLAN
SCALE: 1/8" = 1'-0"





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SHEET NOTES:

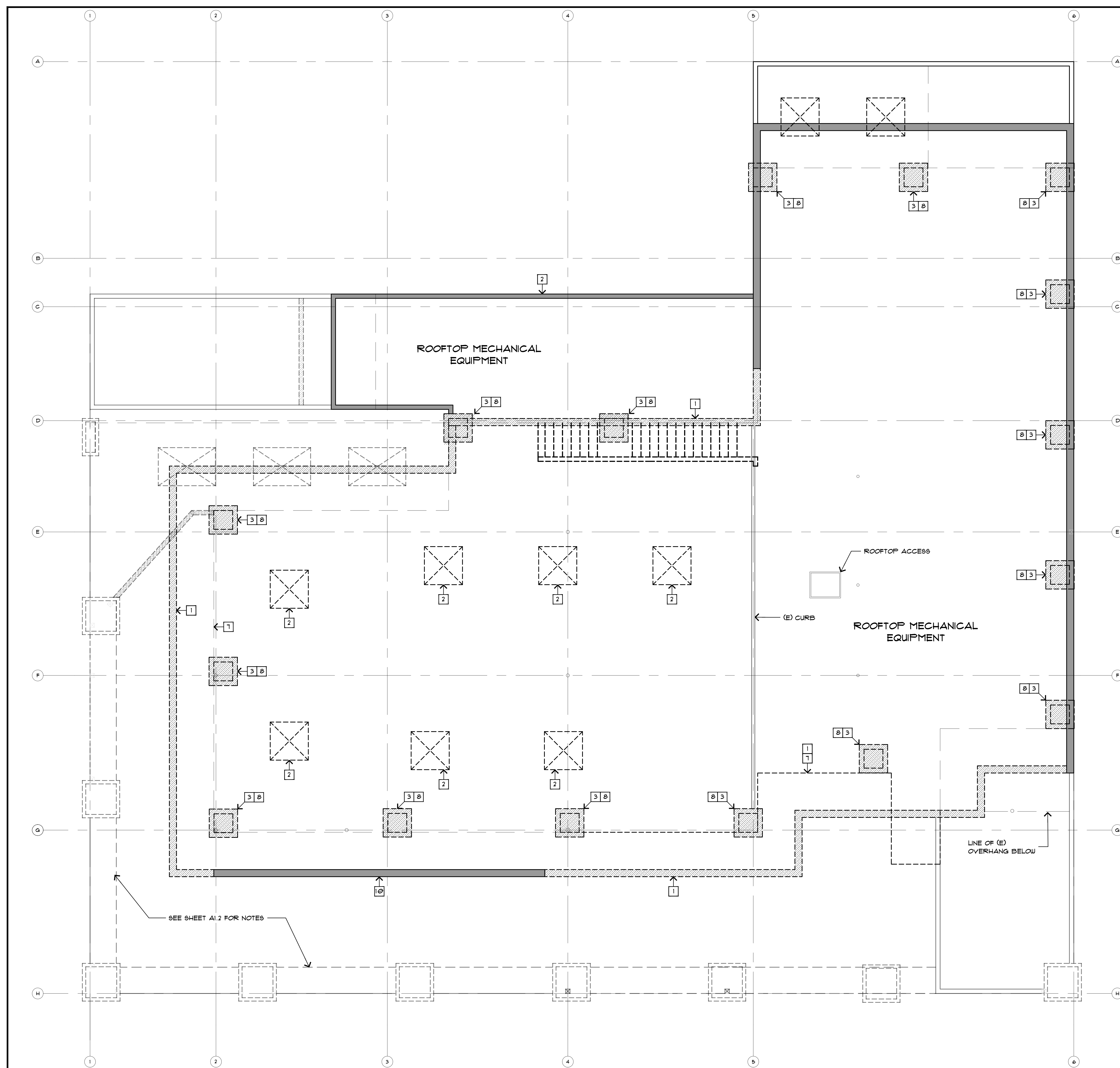
- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

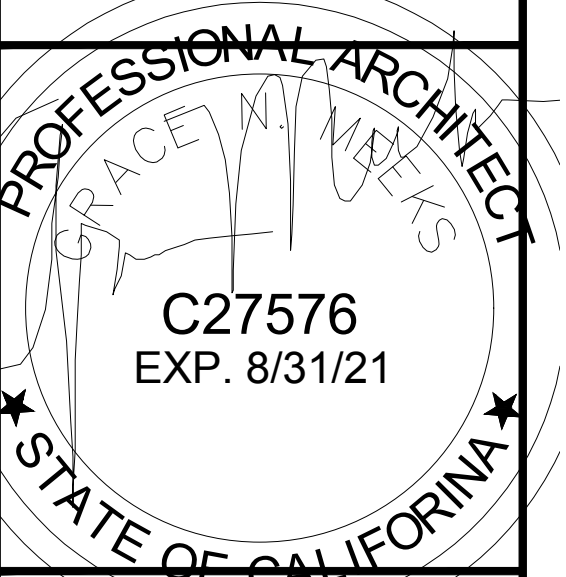
- PARAPET WALL TO REMAIN
- INT. WALL TO REMAIN
- PARAPET WALLS TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED



1 EXISTING & DEMOLITION THIRD LEVEL PLAN
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

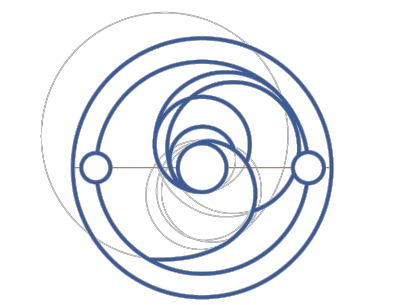
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



EXISTING AND DEMO
THIRD LEVEL PLAN

SHEET
A1.3

PDF DATE 11/30/20



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SHEET NOTES:

- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES

KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- NEW WALLS

**THE BEALE GROUP
THE LIVERY PROJECT**

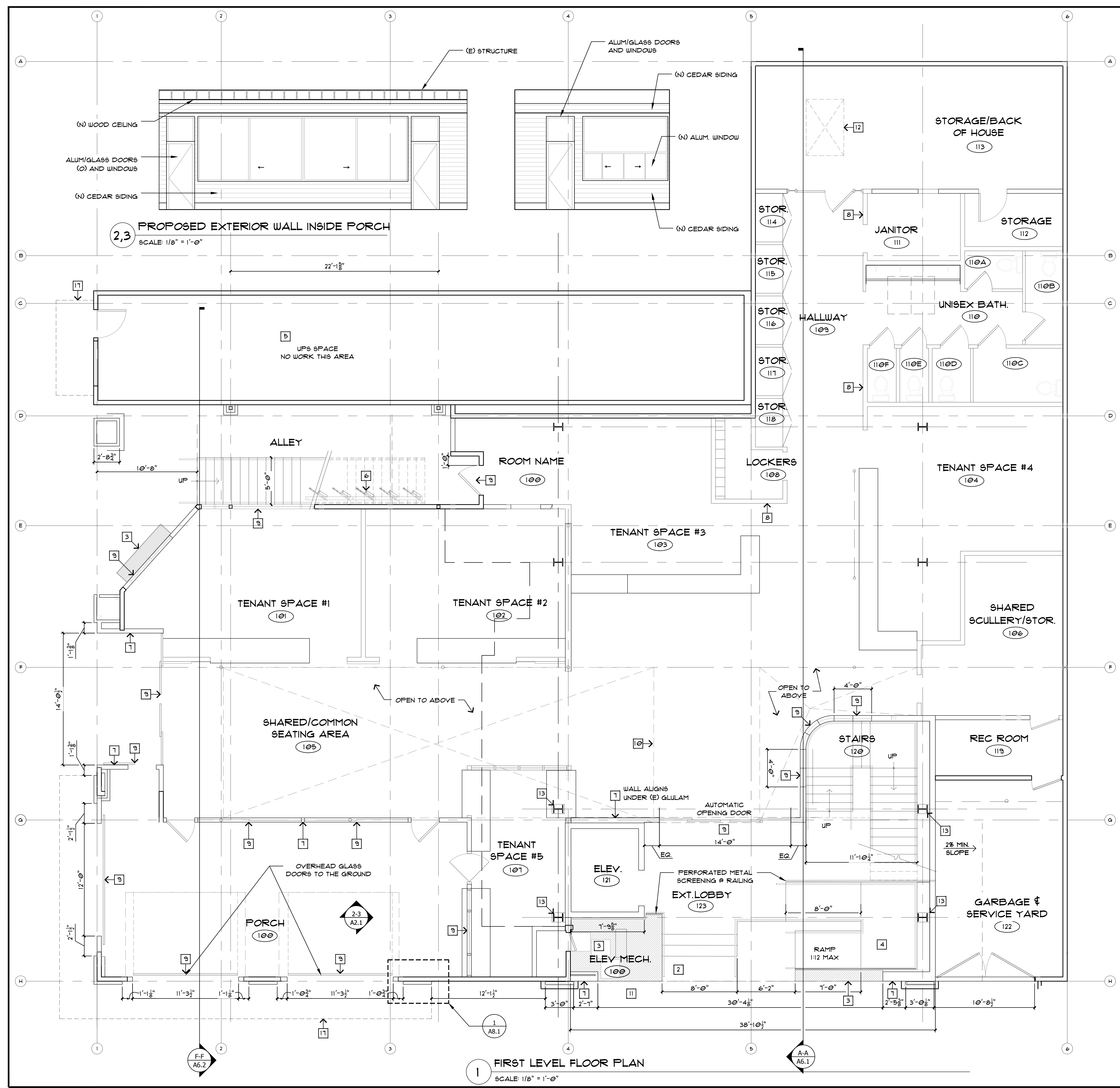
135 S. MAIN
SEBASTOPOL, CA 95472
840-054-020

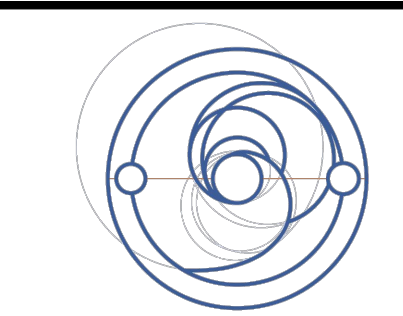


FIRST LEVEL FLOOR PLAN

SHEET
A2.1

PDF DATE 11/30/20





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SHEET NOTES:

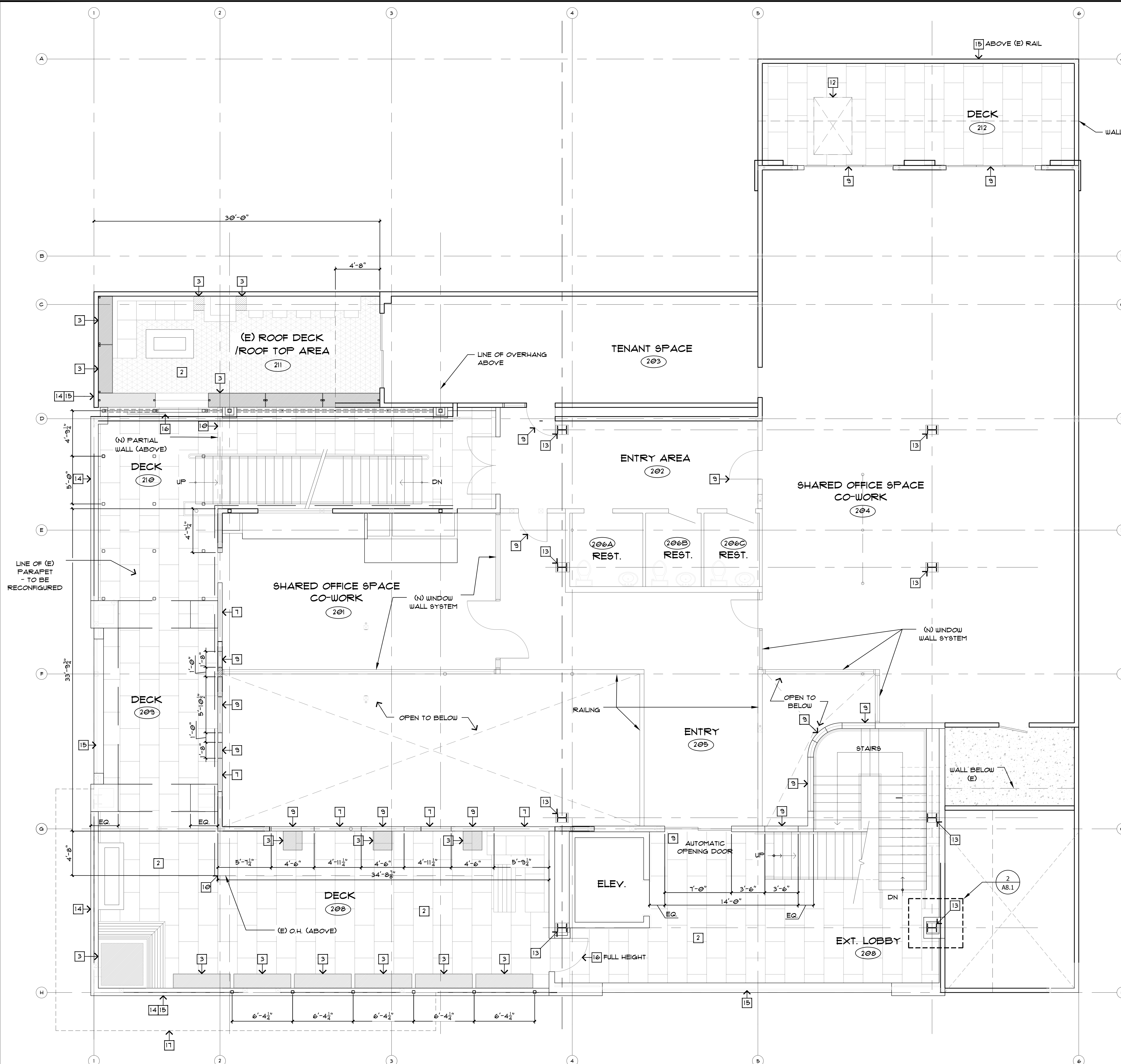
- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES

KEY NOTES:

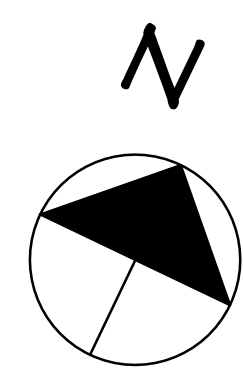
1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

[Symbol]	NEW WALLS
[Symbol]	NEW PARAPET

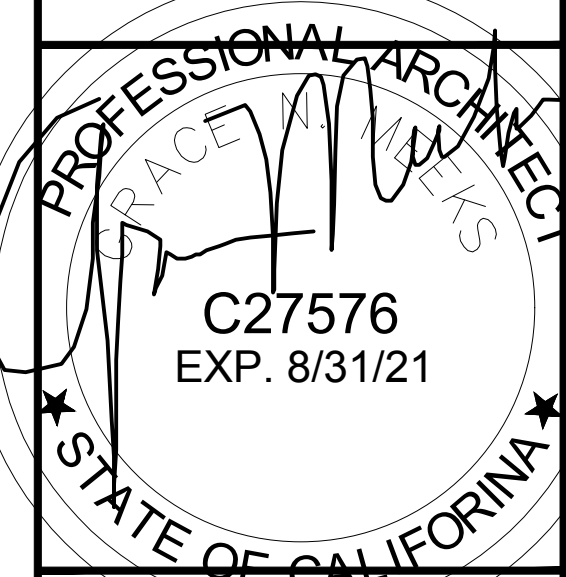


1 SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GP
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

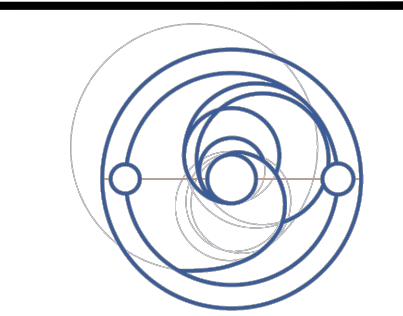
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



SECOND LEVEL FLOOR PLAN

SHEET
A2.2

PDF DATE 11/30/20



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SHEET NOTES:

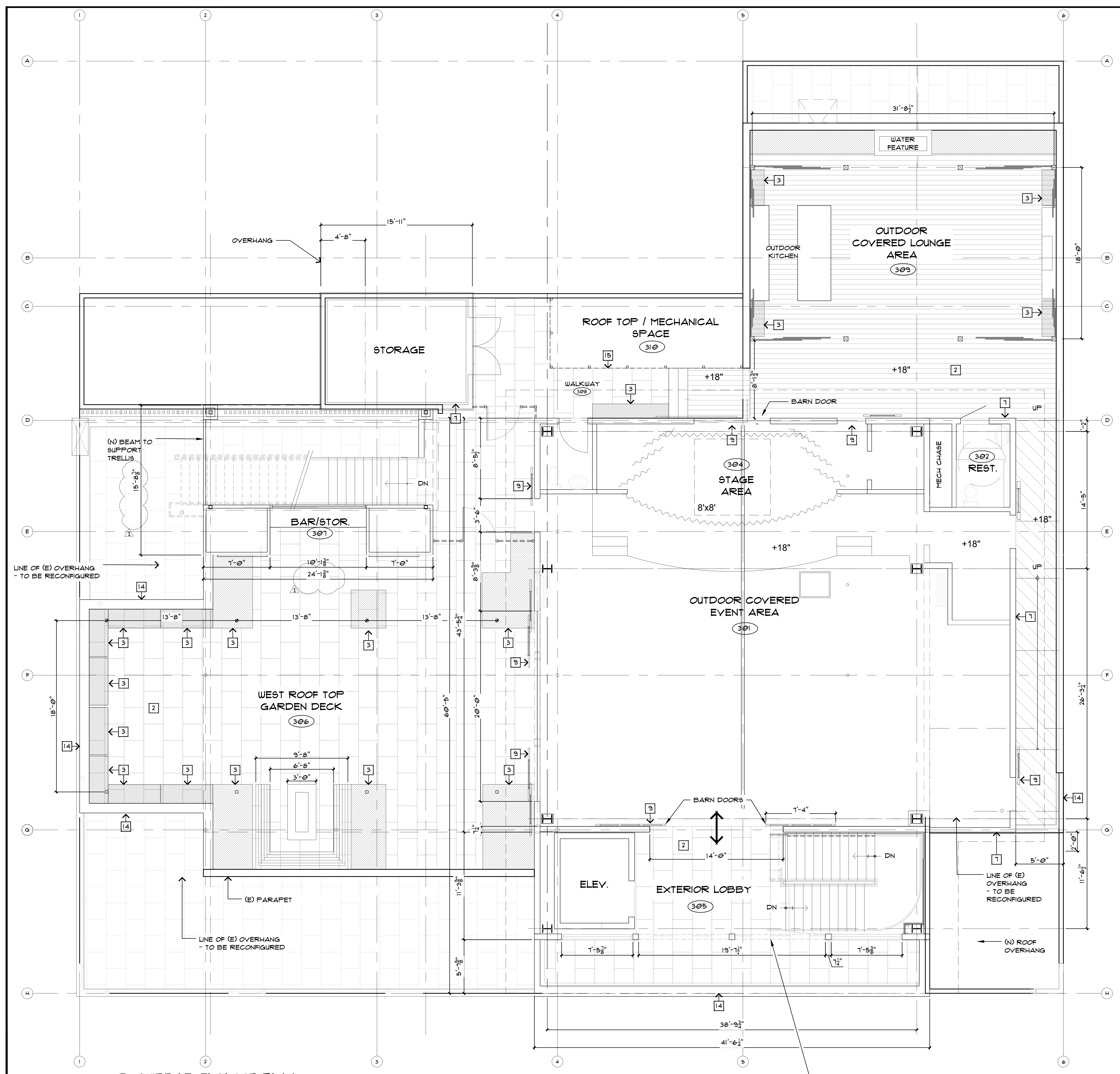
- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

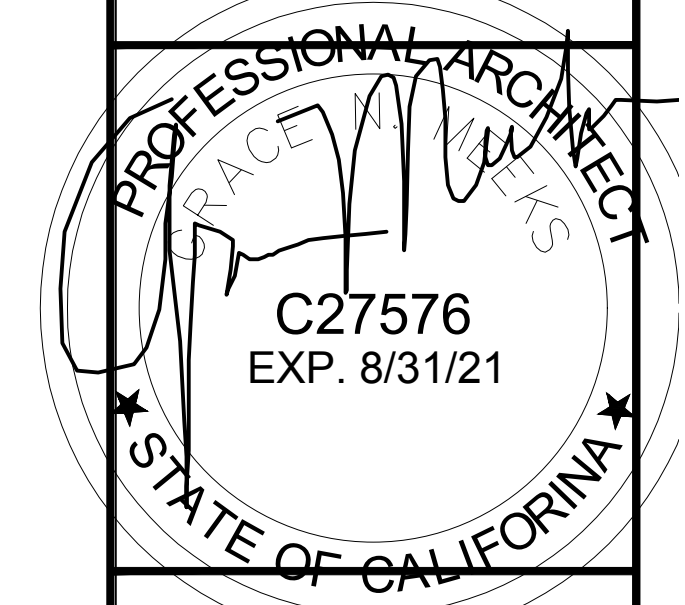
- EXT. PARAPET TO REMAIN
- NEW WALLS
- NEW PARAPET



1 THIRD LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

THE BEALE GROUP
THE LIVERY PROJECT

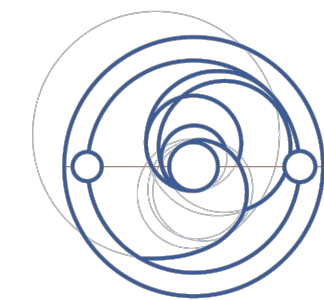
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THIRD LEVEL FLOOR PLAN

SHEET
A2.3

PDF DATE 11/30/20



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- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES

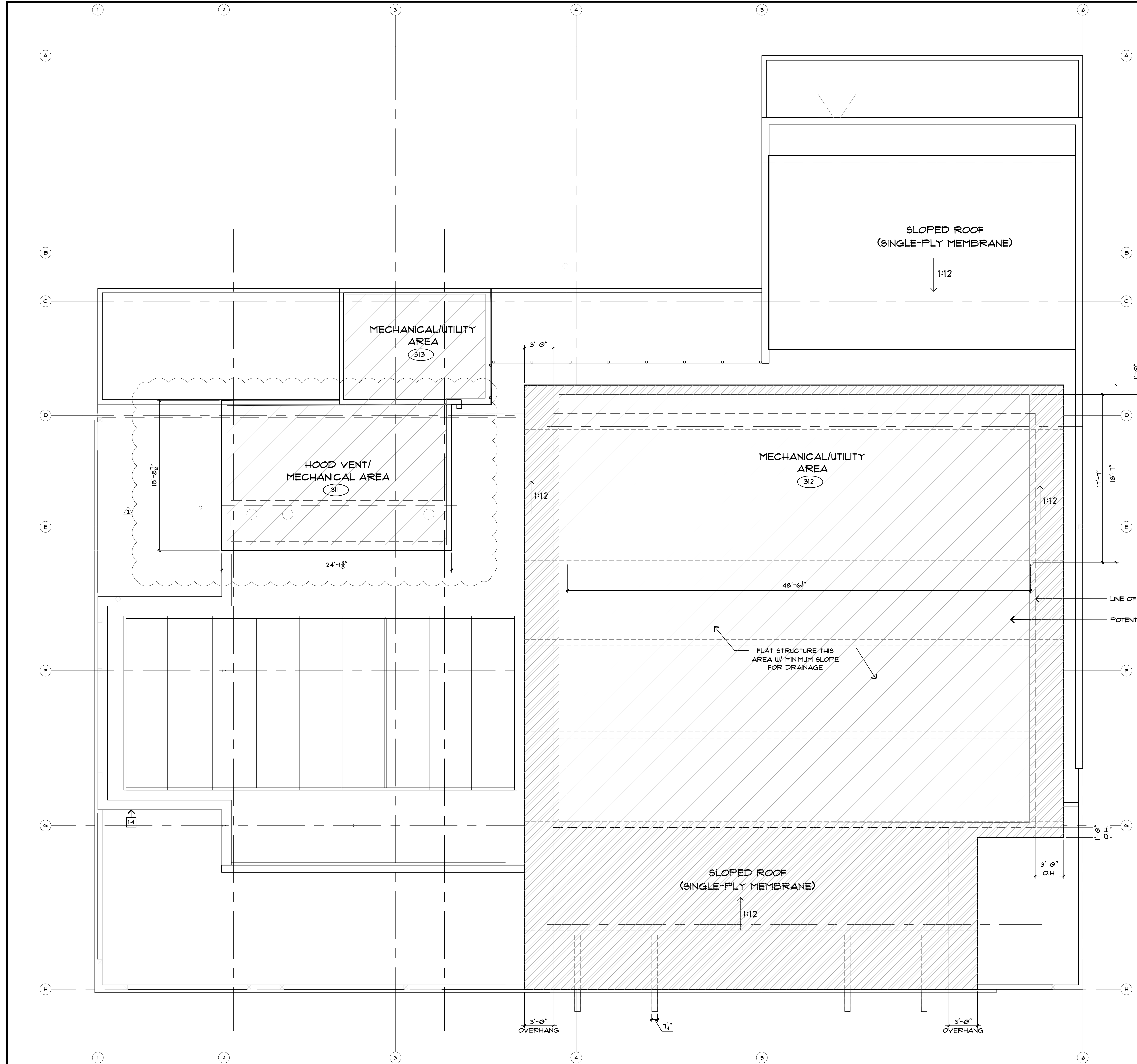
KEY NOTES:

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2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

REV.	DATE	DESCRIPTION
09/15/20		DESIGN REVIEW SUBMITTAL
10/21/20		RESUBMITTAL - ROOF UPDATE
12/11/20		RESUBMITTAL - PLATFORM UPDATE
Δ		

LEGEND:

- EXT. PARAPET TO REMAIN
- NEW WALLS
- NEW PARAPET



1 THIRD LEVEL ROOF PLAN
SCALE: 1/8" = 1'-0"

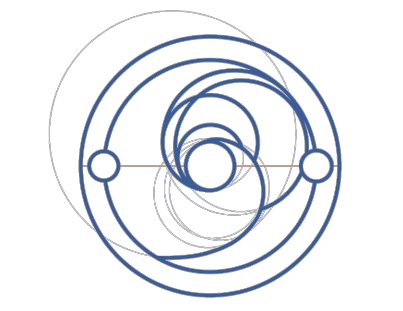
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THIRD LEVEL
ROOF PLAN

SHEET
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PDF DATE 11/30/20



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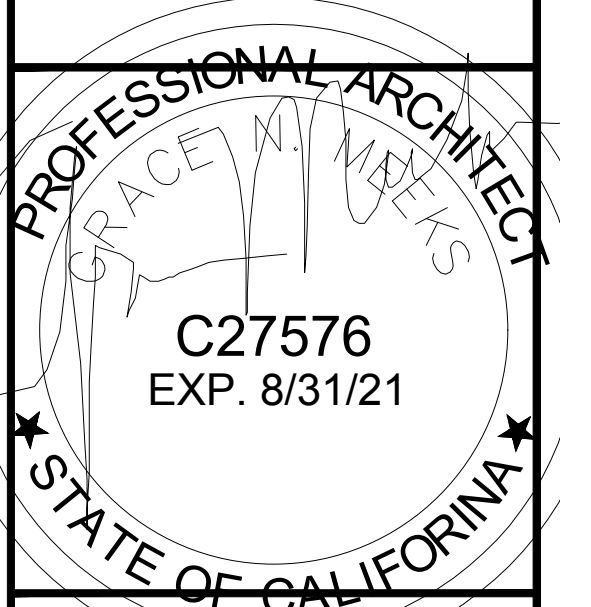
1 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

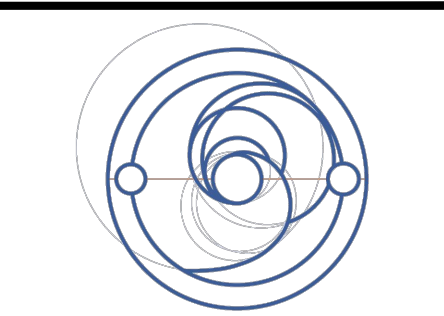
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EXISTING ELEVATIONS

SHEET
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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					

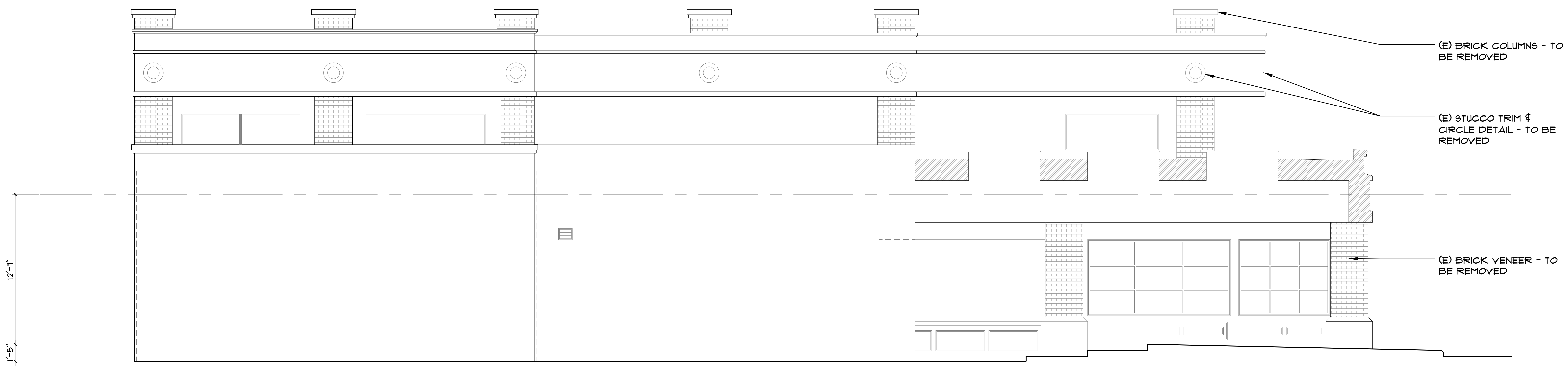
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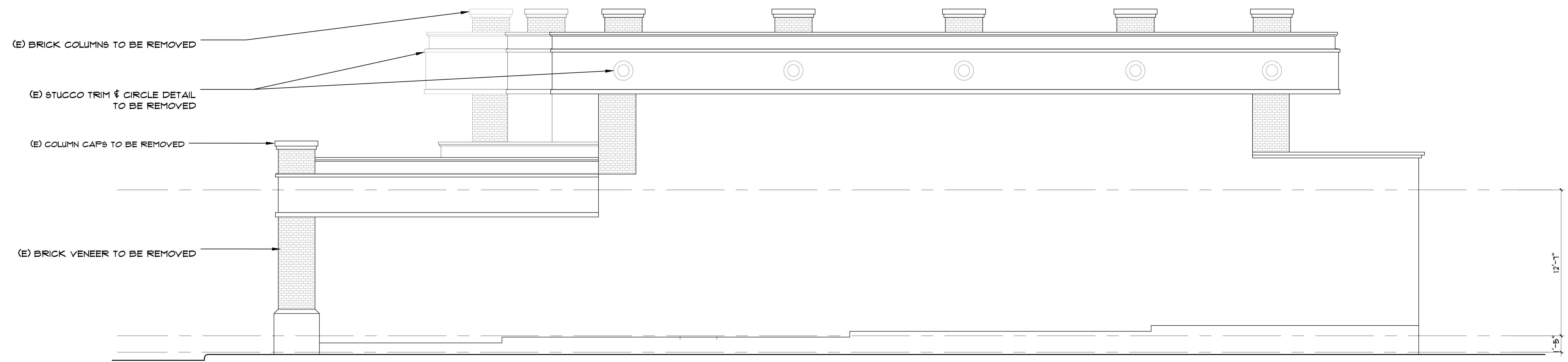
EXISTING ELEVATIONS

SHEET
A5.2

PDF DATE 11/30/20



1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



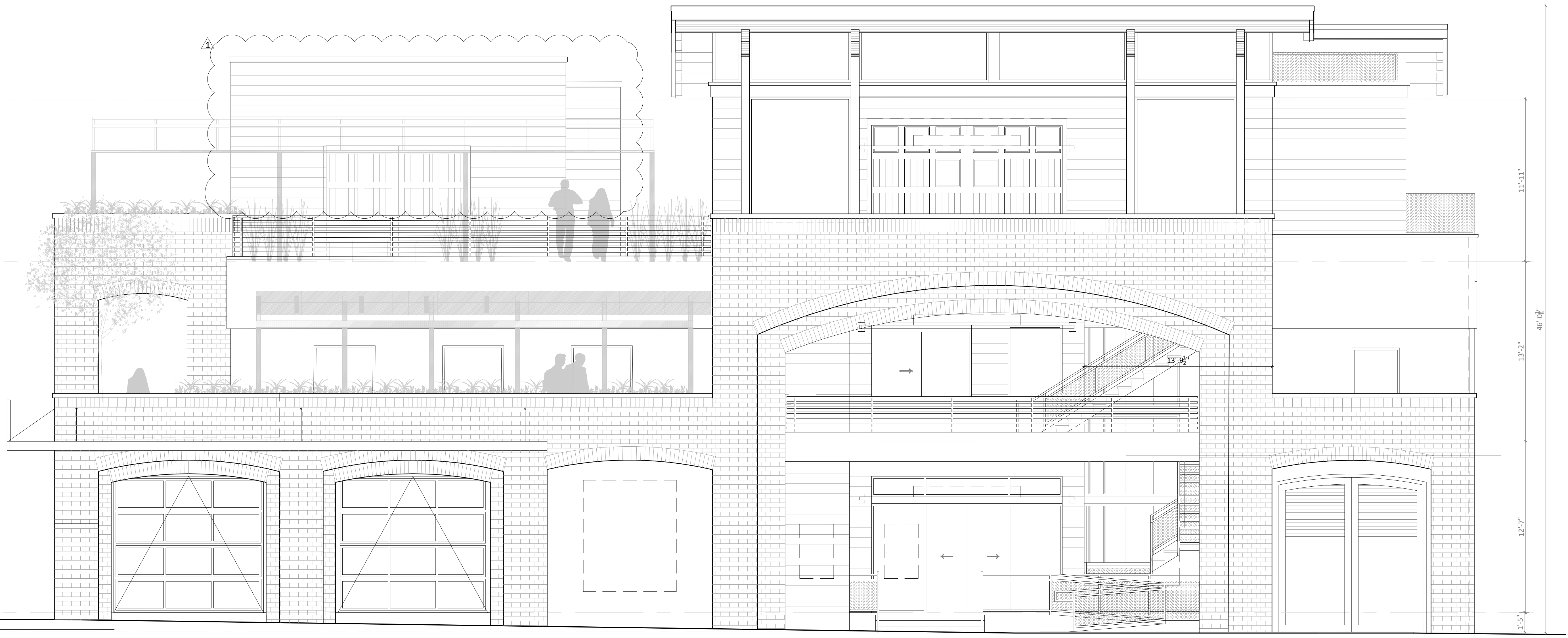
1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

SHEET NOTES:
1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

- Exterior Finishes:
- EF 1 Brick -- Thin brick
 - EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
 - EF 3 Stucco -- Three-layer system - Integral color
 - EF 4 Cedar Siding -- Clear finish
 - EF 5 Wood Trim/Wrap -- Cedar
 - EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
 - EF 7 Paint -- Paint existing stucco (when accessible)
 - EF 8 Concrete
 - EF 9 Brick Cap
 - EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
 - EF 11 Concrete Paving
 - EF 12 Cedar stair treads
 - EF 13 Perforated Metal
 - EF 14 Concrete -- Existing
 - EF 15 Overhead glass door
 - EF 16 Automatic sliding doors
 - EF 17 Bifold glass doors
 - EF 18 Door/Window
 - EF 19 Cedar Trellis
 - EF 20 Roofing
 - EF 21 Awning
 - EF 22 Barn Doors
 - EF 23 Metal - Painted
 - EF 24 Signage Location

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REV.	<table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DESIGNED</th> <th>DRAWN</th> <th>CHECKED</th> </tr> </thead> <tbody> <tr> <td>09/15/20</td> <td>DESIGN REVIEW SUBMITTAL</td> <td>GM, JN</td> <td>GM, JN</td> <td>GM</td> </tr> <tr> <td>10/21/20</td> <td>RESUBMITTAL - ROOF UPDATE</td> <td>GM, JN</td> <td>GM, JN</td> <td>GM</td> </tr> <tr> <td>12/11/20</td> <td>RESUBMITTAL - PLATFORM UPDATE</td> <td>GM, JN</td> <td>GM, JN</td> <td>GM</td> </tr> </tbody> </table>	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GM	10/21/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GM	12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GM
DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED																	
09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GM																	
10/21/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GM																	
12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GM																	



2 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

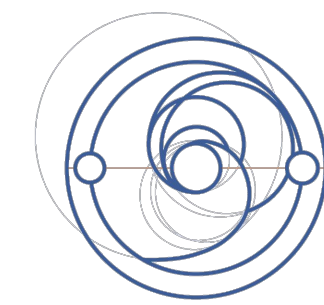
THE BEALE GROUP
THE LIVERY PROJECT
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PROPOSED ELEVATIONS

SHEET
A5.3

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SHEET NOTES:

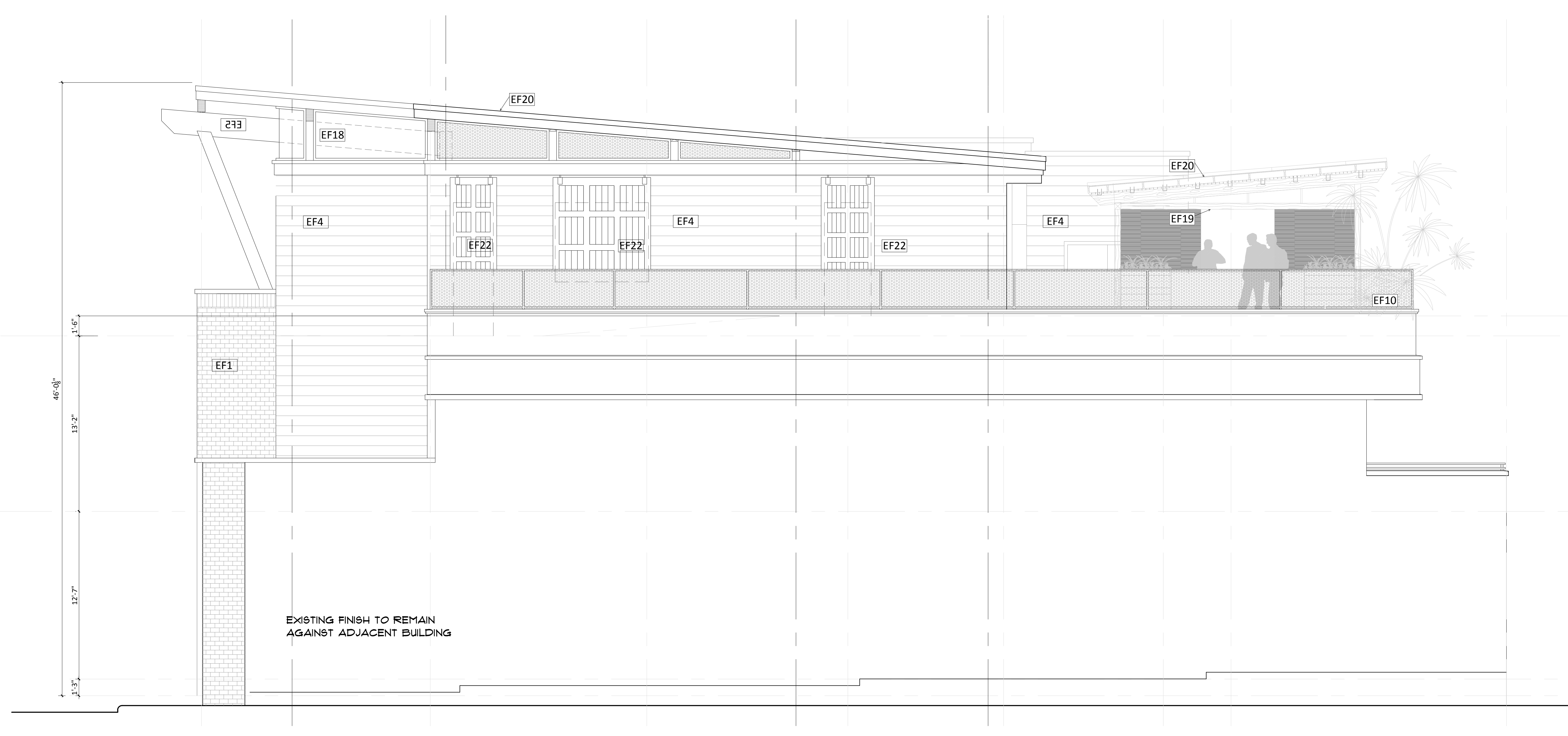
- 1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

Exterior Finishes:

- EF 1 Brick -- Thin brick
- EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
- EF 3 Stucco -- Three-layer system - Integral color
- EF 4 Cement board siding - dark grey paint
- EF 5 Wood Trim -- Cedar
- EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
- EF 7 Paint -- Paint existing stucco (when accessible)
- EF 8 Concrete
- EF 9 Brick Cap
- EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
- EF 11 Concrete Paving
- EF 12 Cedar stair treads
- EF 13 Perforated Metal -- Blackish - painted
- EF 14 Concrete -- Existing
- EF 15 Overhead glass door
- EF 16 Automatic sliding doors
- EF 17 Bifold glass doors
- EF 18 Door/Window
- EF 19 Cedar Trellis
- EF 20 Roofing
- EF 21 Awning
- EF 22 Barn Doors
- EF 23 Metal - Painted
- EF 24 Signage Location

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					



2 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

THE BEALE GROUP
THE LIVERY PROJECT

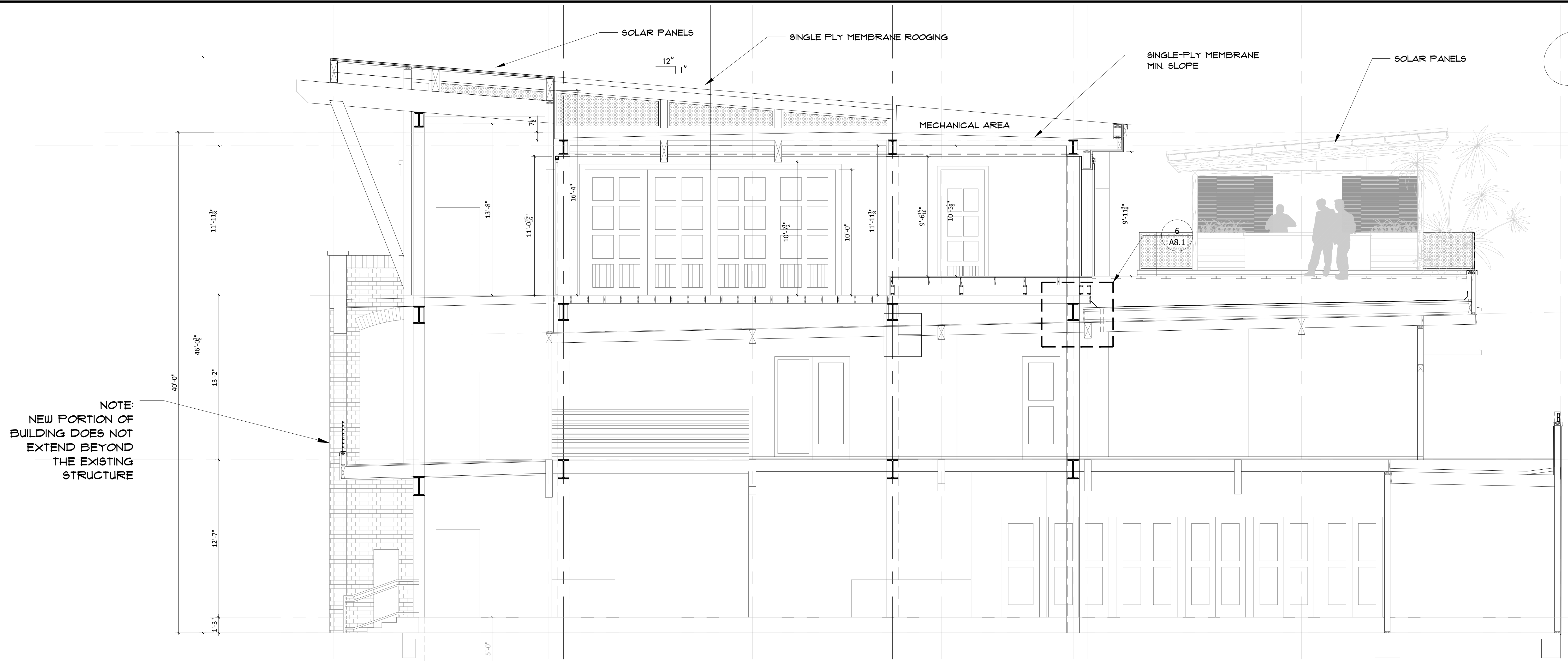
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PROPOSED ELEVATIONS

SHEET
A5.4

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SHEET NOTES:
 1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

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NOTE:
 NEW PORTION OF BUILDING DOES NOT EXTEND BEYOND THE EXISTING STRUCTURE

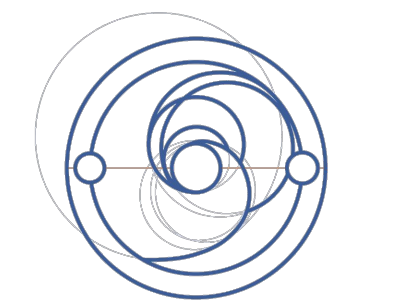
2 PROPOSED SECTION A-A
 SCALE 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/1/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					

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PROPOSED SECTIONS
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LARGE STRUCTURAL MEMBERS ARE REQUIRED FOR THE SPAN. STACKING THE PERPENDICULAR MEMBERS CREATED THE DESIGN AND FEATURE OF THE BUILDING - THE RAFTERS

SECOND CRITICAL POINT - ELEVATOR MINIMUM CLEARANCE - 13'-8" (KONE ELEVATOR 3500LB CAPACITY)

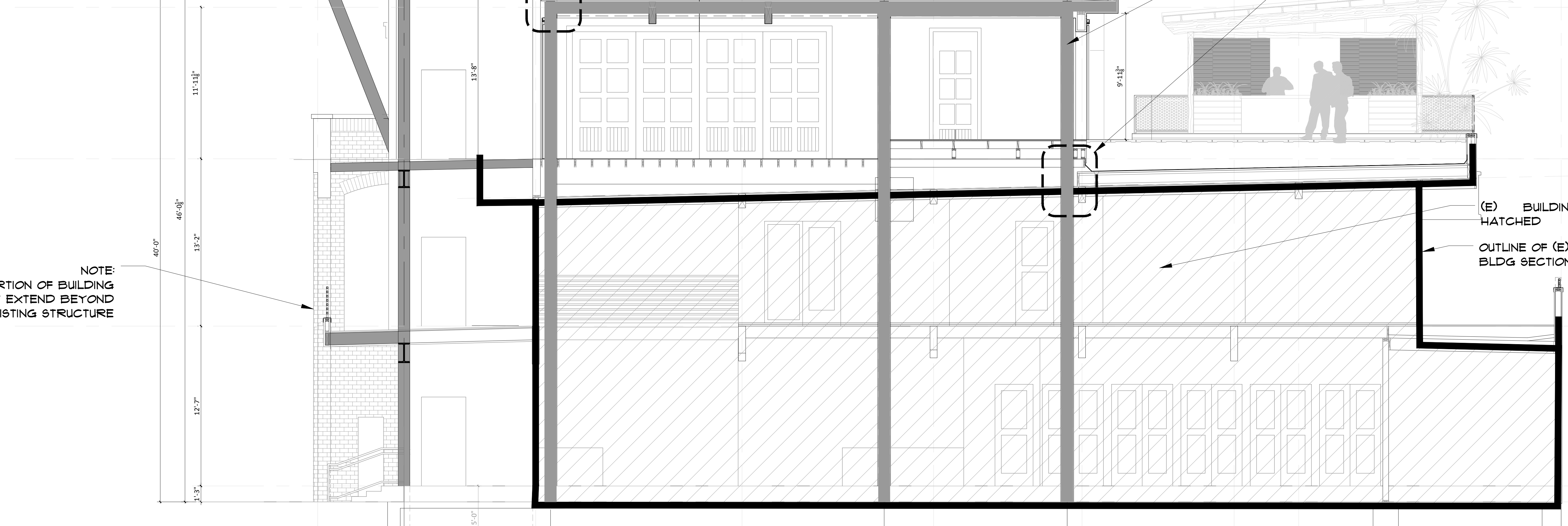
MINIMUM SLOPED ROOF/PARAFET (BEYOND)

(N) STEEL STRUCTURE FOR THIRD LEVEL

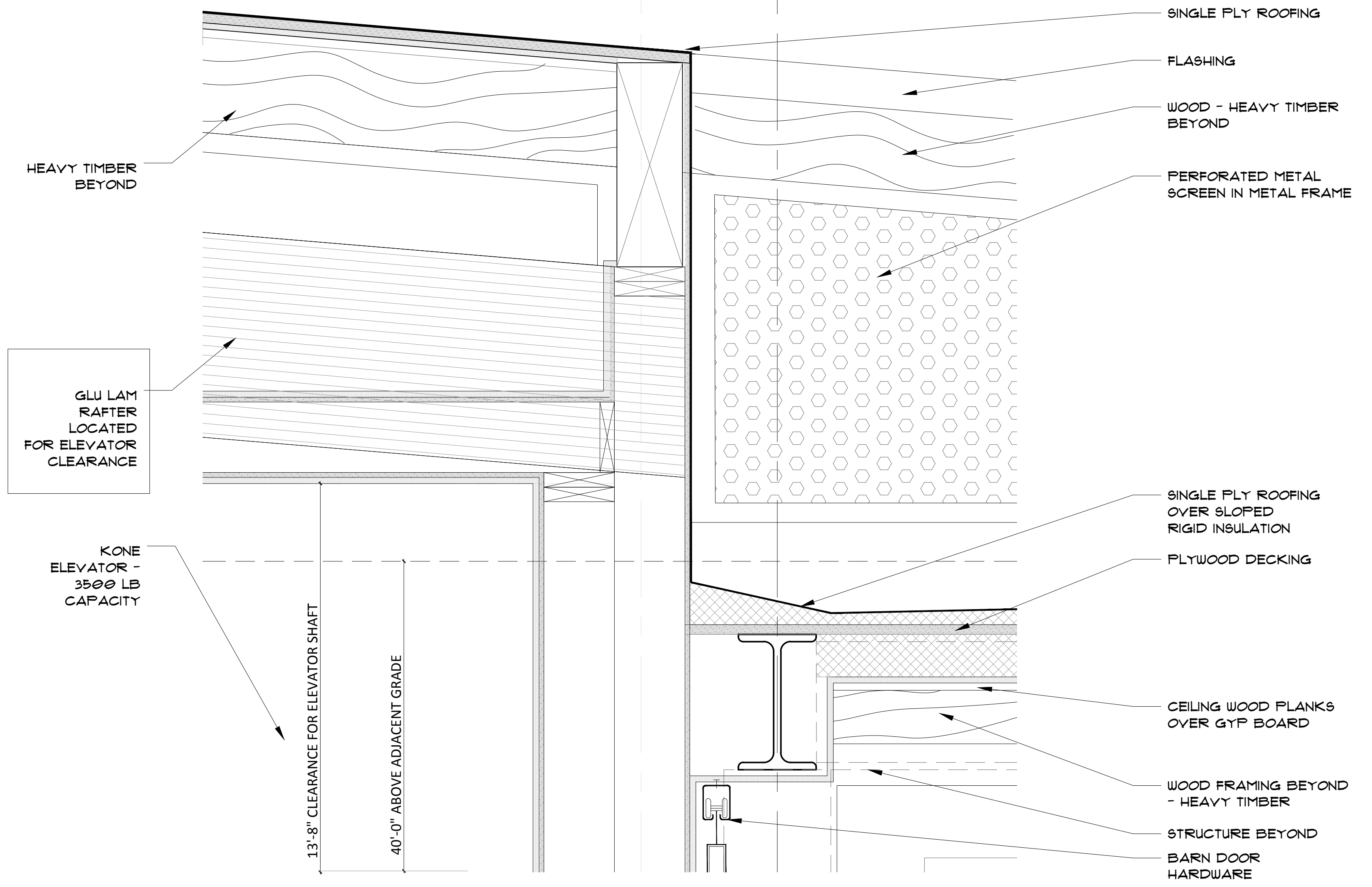
FIRST CRITICAL POINT - MINIMAL DISTANCE BETWEEN EXISTING STRUCTURE AND NEW STRUCTURE SEE DETAIL 2/A6.2

45' ABOVE ADJ. SIDEWALK

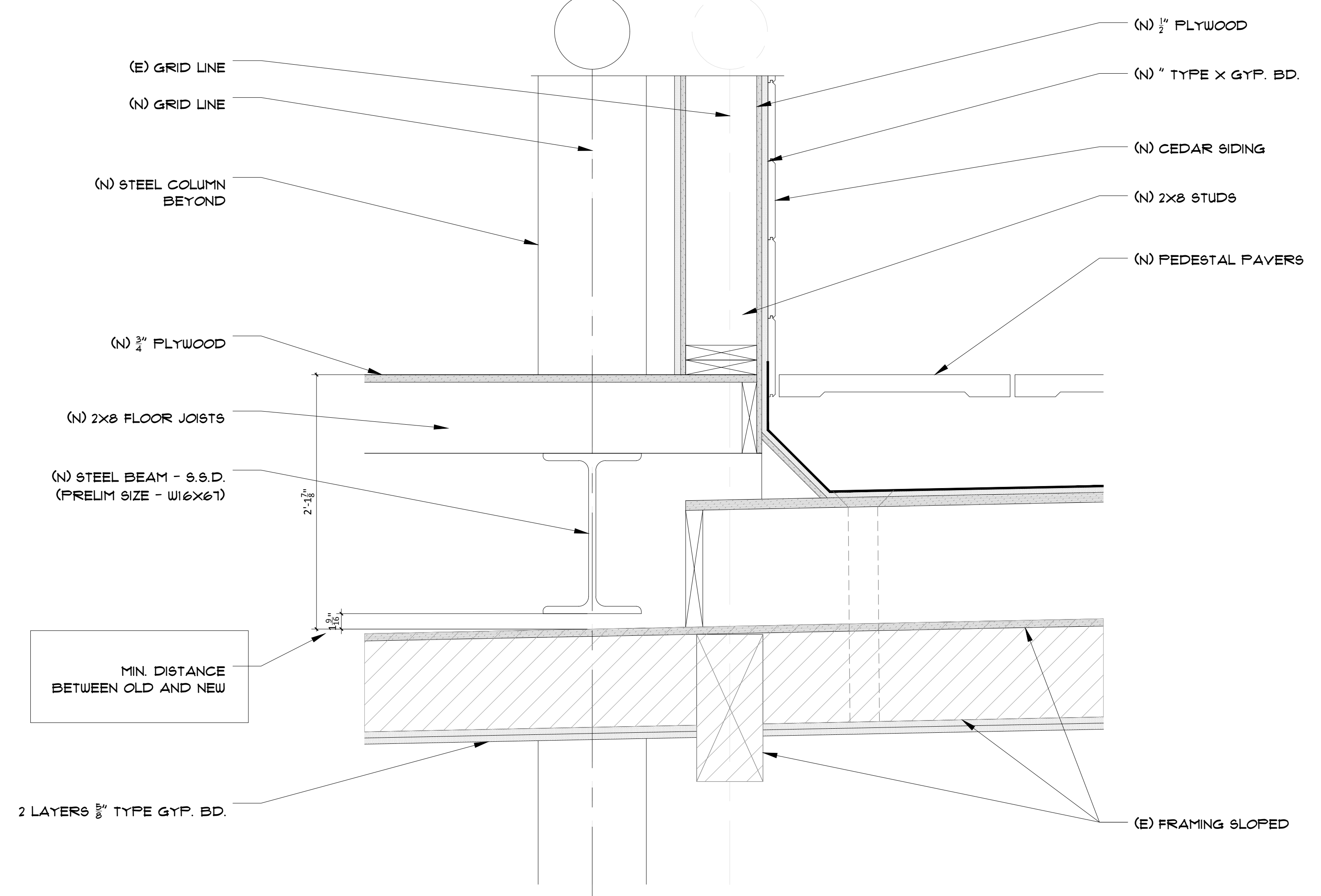
40' ABOVE ADJ. SIDEWALK



2 PROPOSED SECTION A-A - COMPARISON OF OLD AND NEW FRAMING
SCALE: 1/8" = 1'-0"



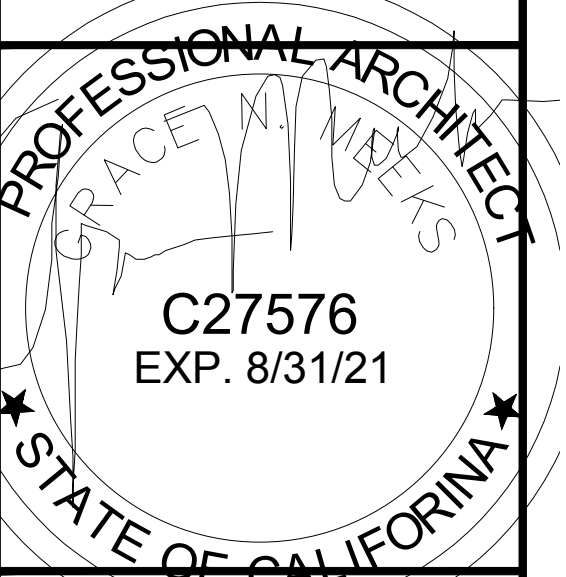
3 TOP OF ELEVATOR - SECOND CRITICAL POINT
SCALE: 3/4" = 1'-0"



2 (N) FRAMING OVER (E) FRAMING - FIRST CRITICAL POINT
SCALE: 3/4" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
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	12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GB

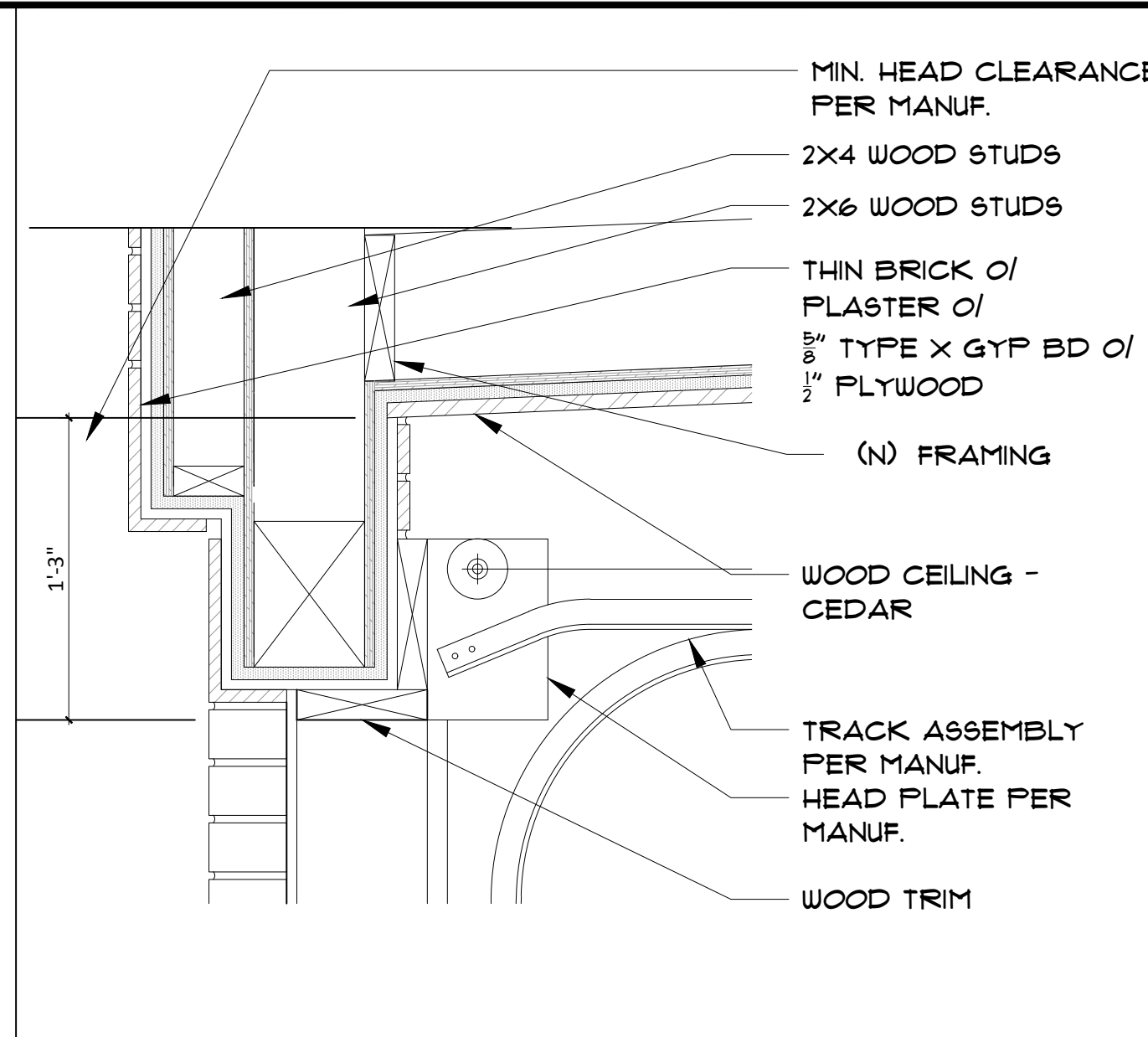
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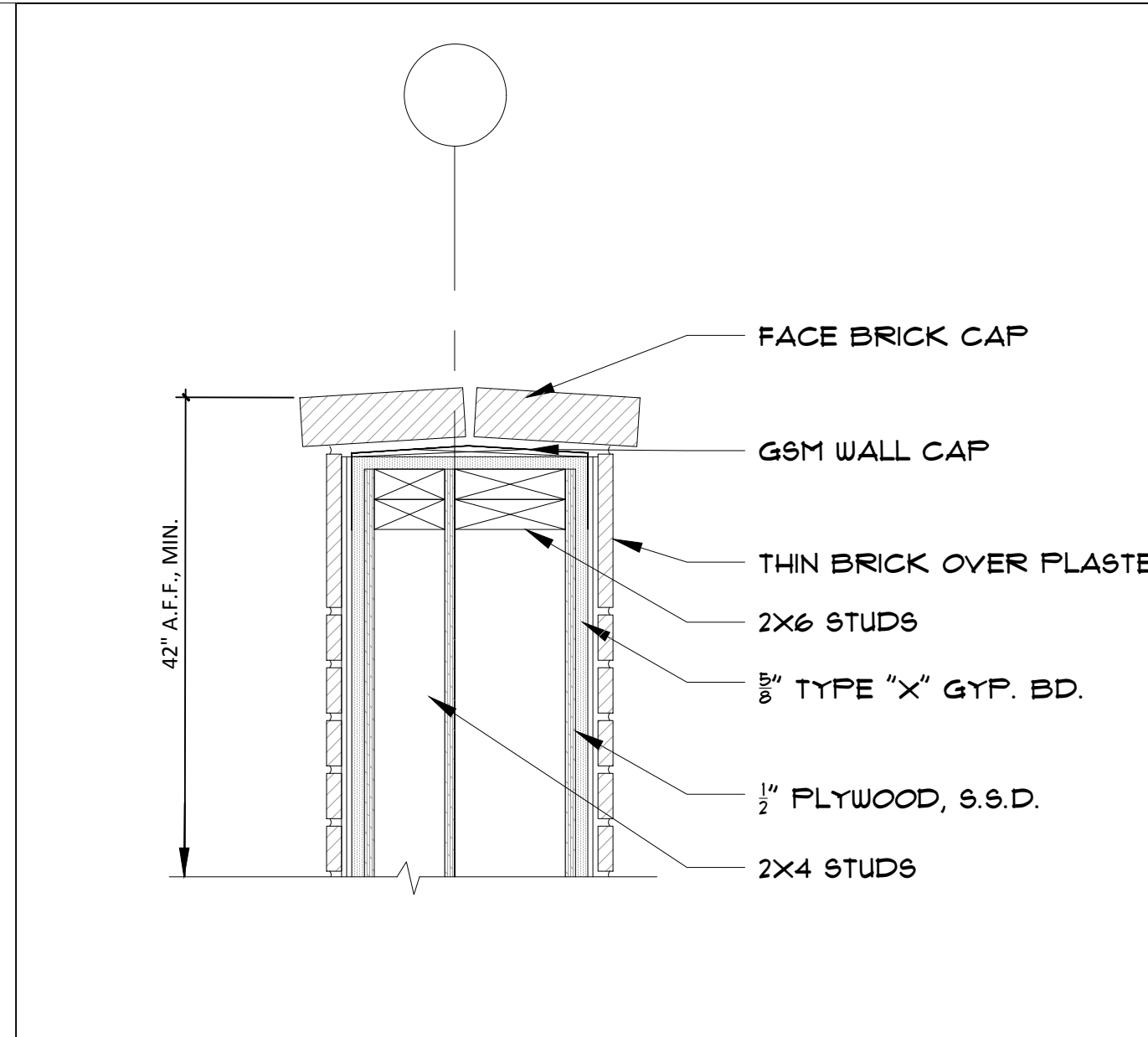
PROPOSED SECTIONS
SHEET
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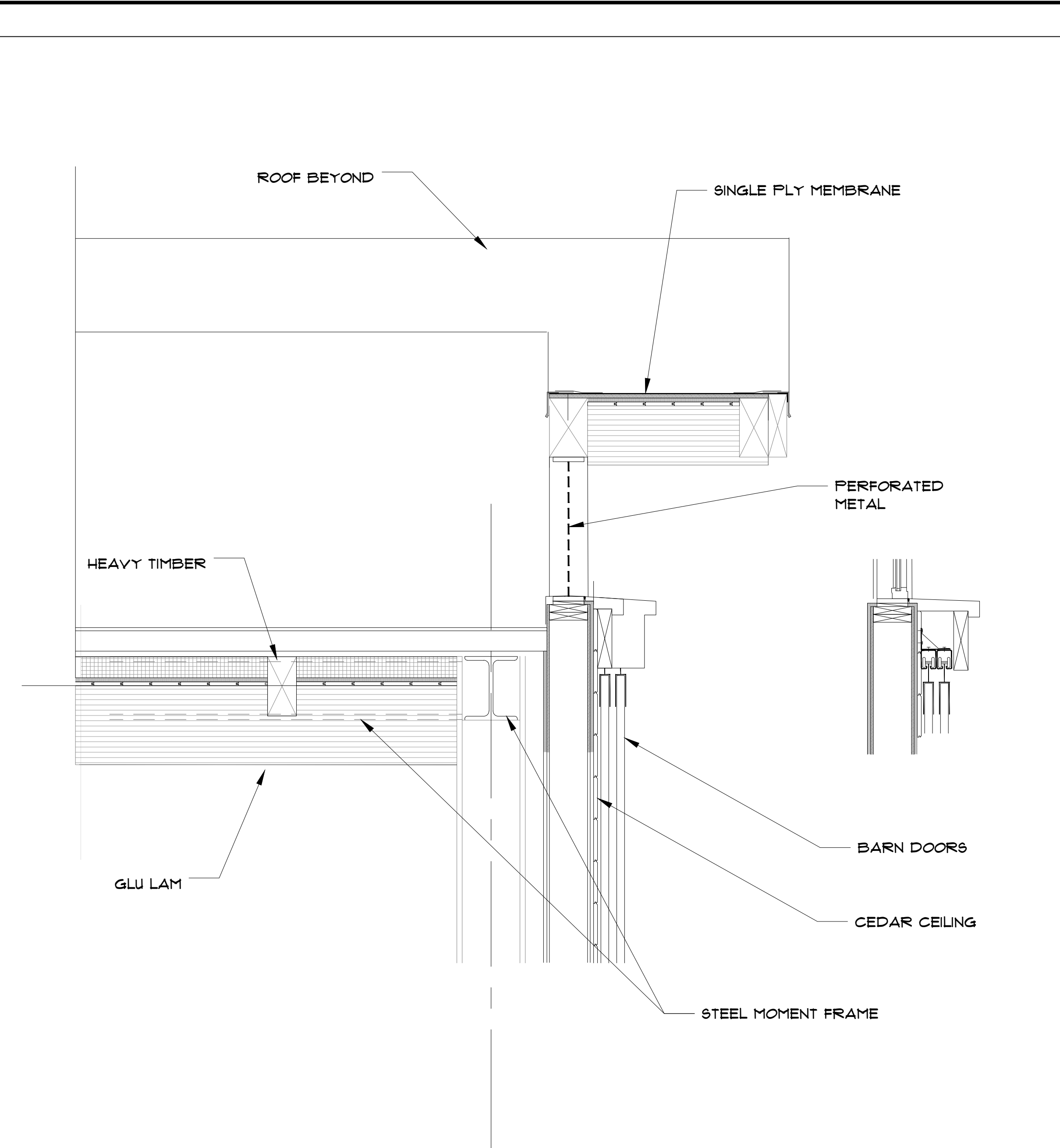
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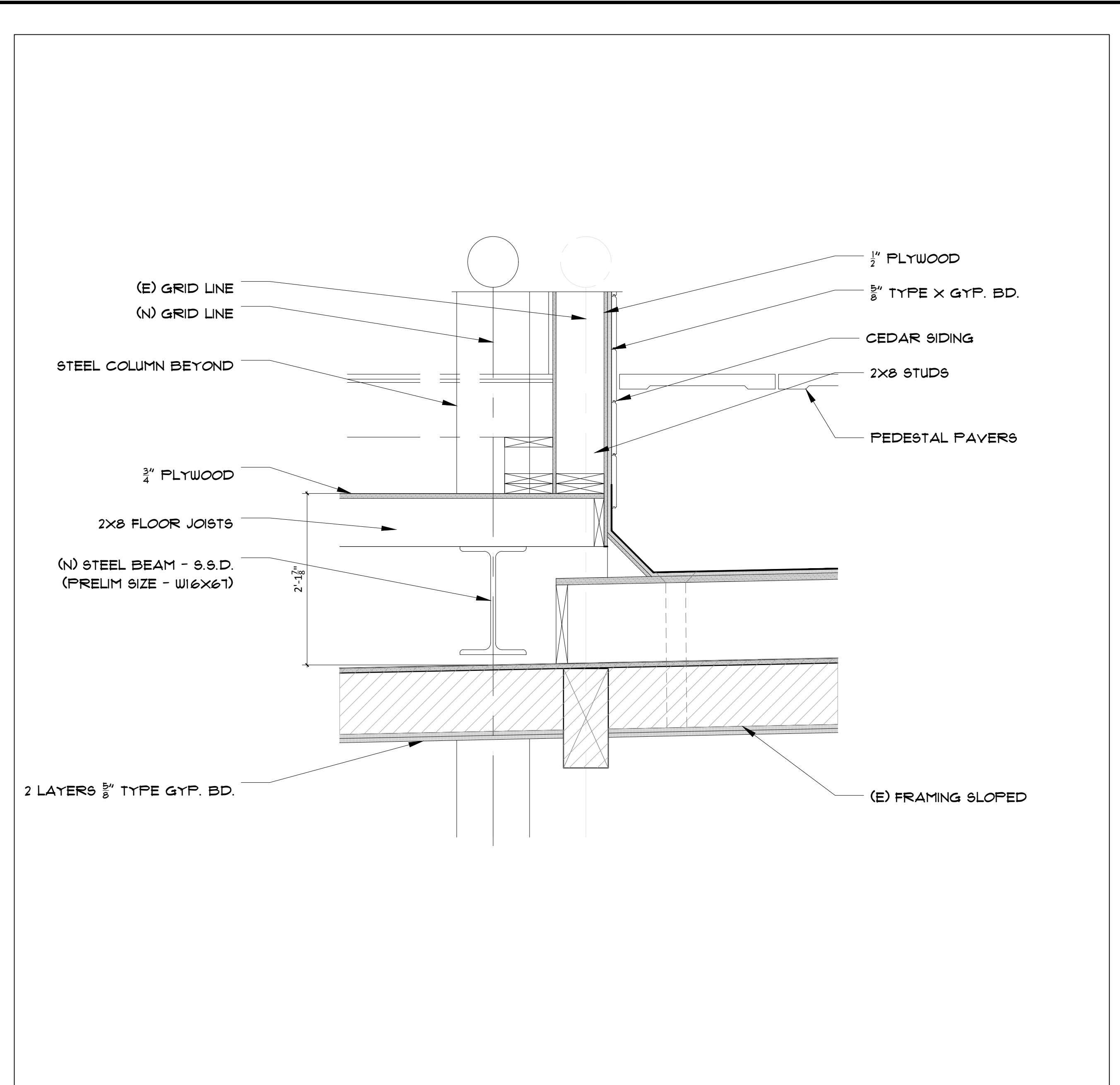
9 OVERHEAD DOOR HEAD
SCALE: 3/4" = 1'-0"



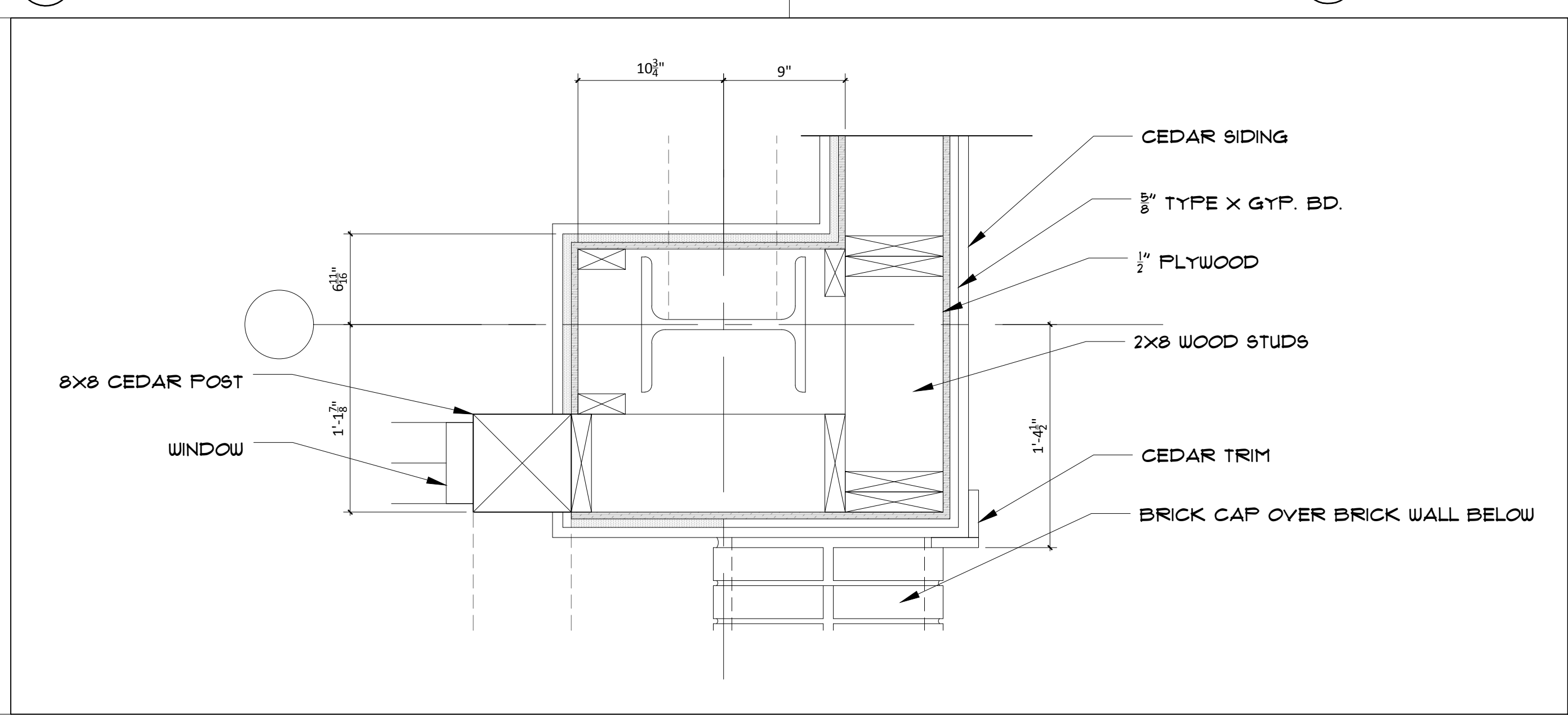
8 BRICK CAP
SCALE: 3/4" = 1'-0"



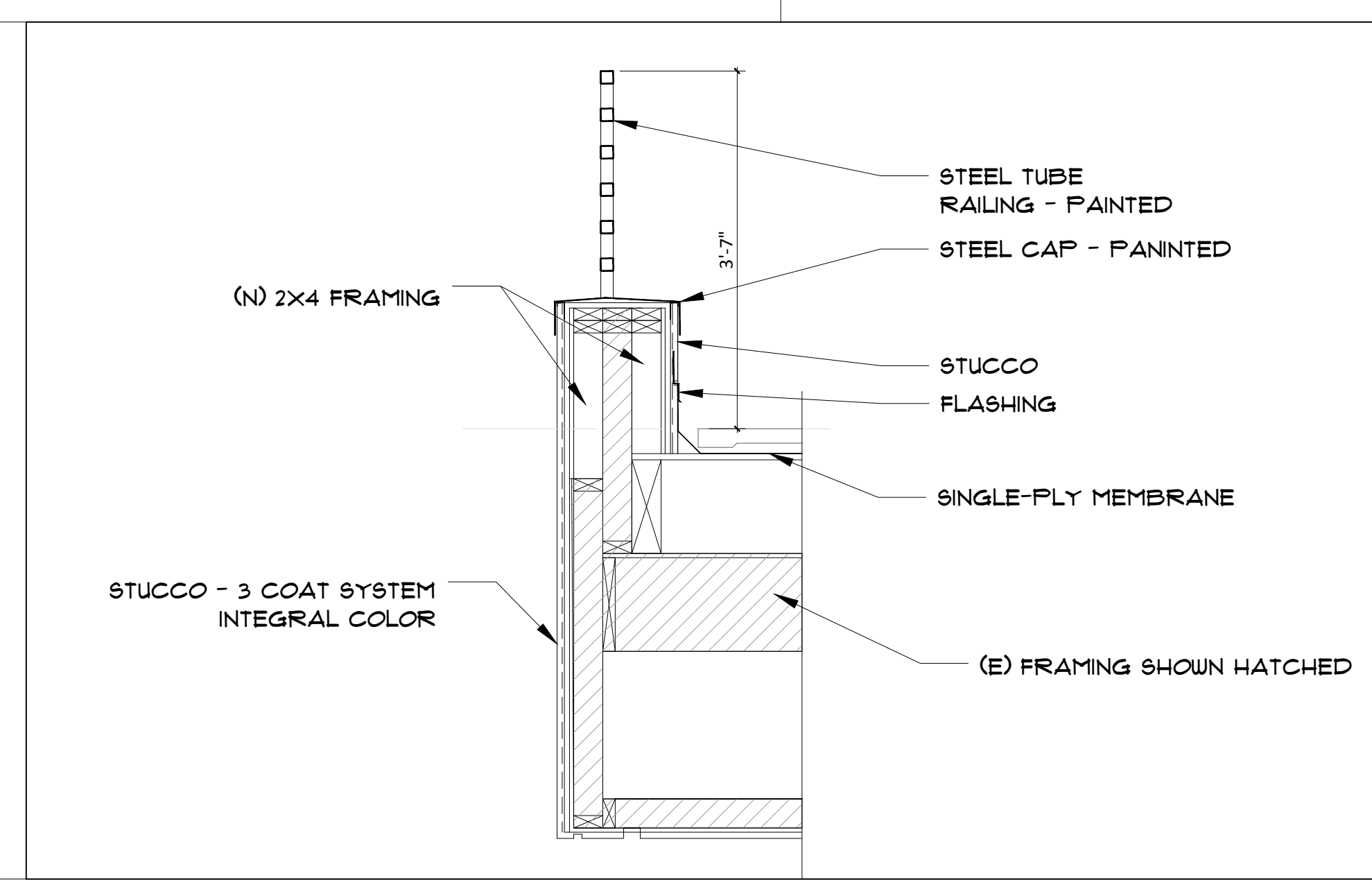
7 THIRD LEVEL EXTERIOR WALL/ROOF
SCALE: 3/8" = 1'-0"



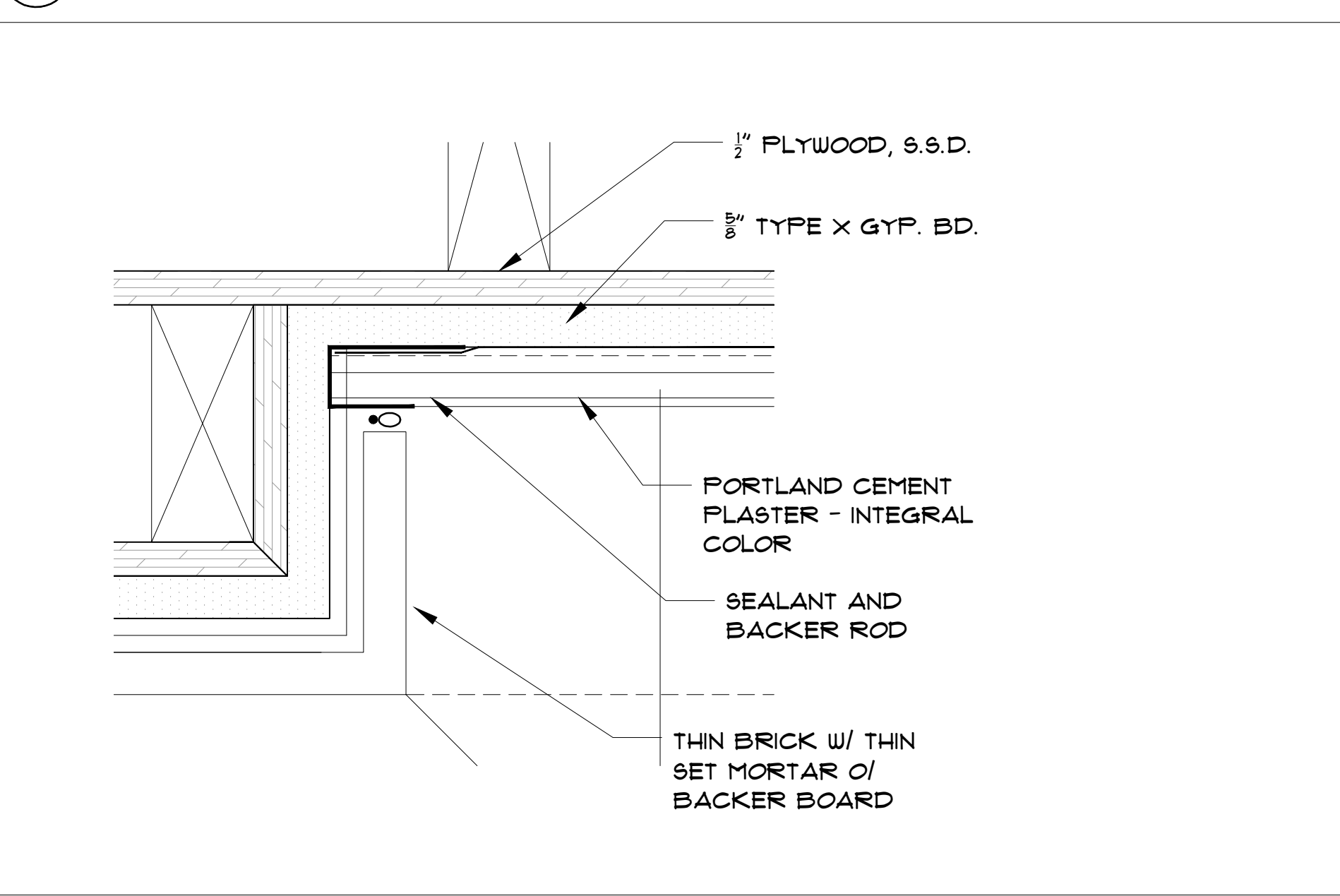
6 (E) ROOF AT (N) THIRD LEVEL
SCALE: 1/2" = 1'-0"



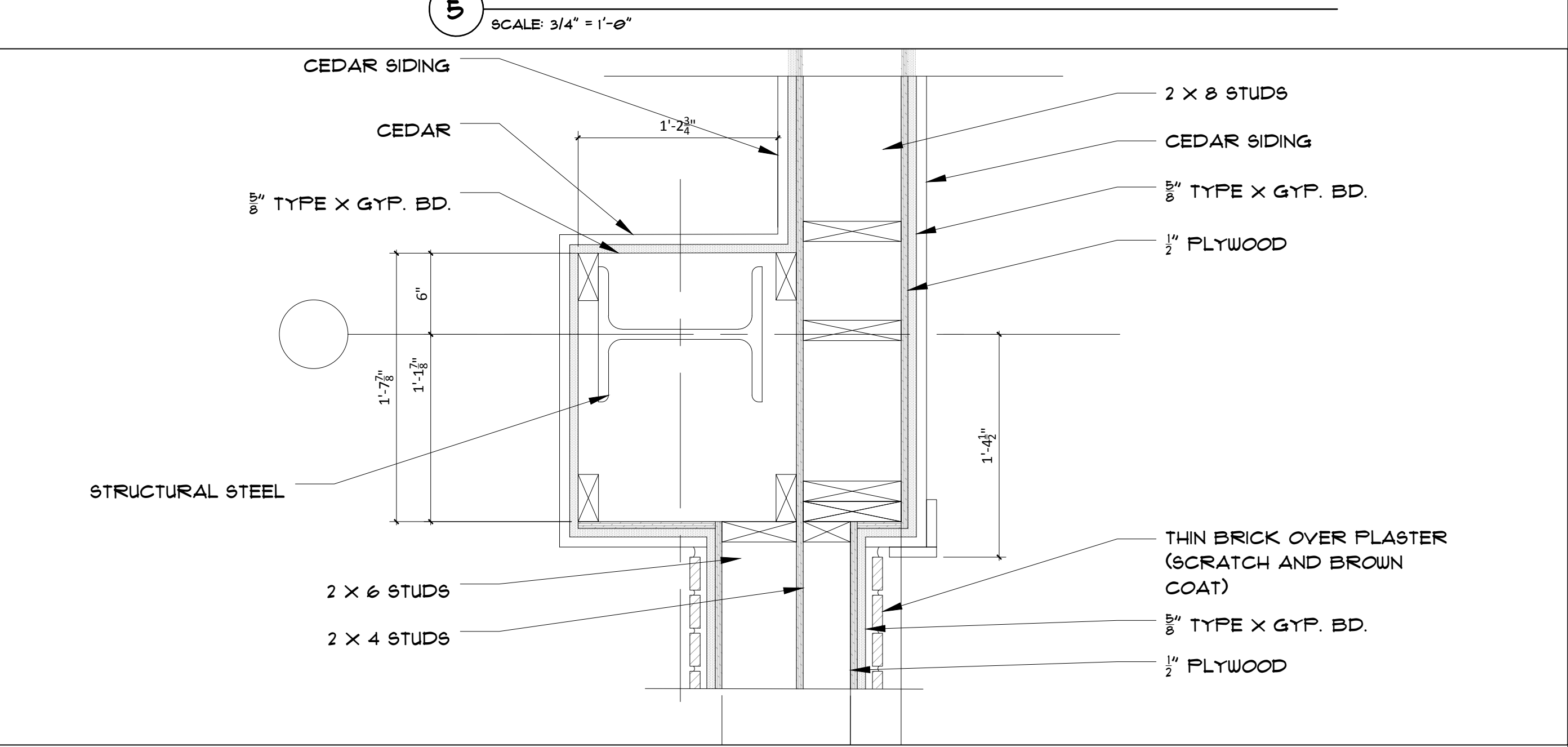
5 PLAN DETAIL - BRICK / SIDING JOINT
SCALE: 3/4" = 1'-0"



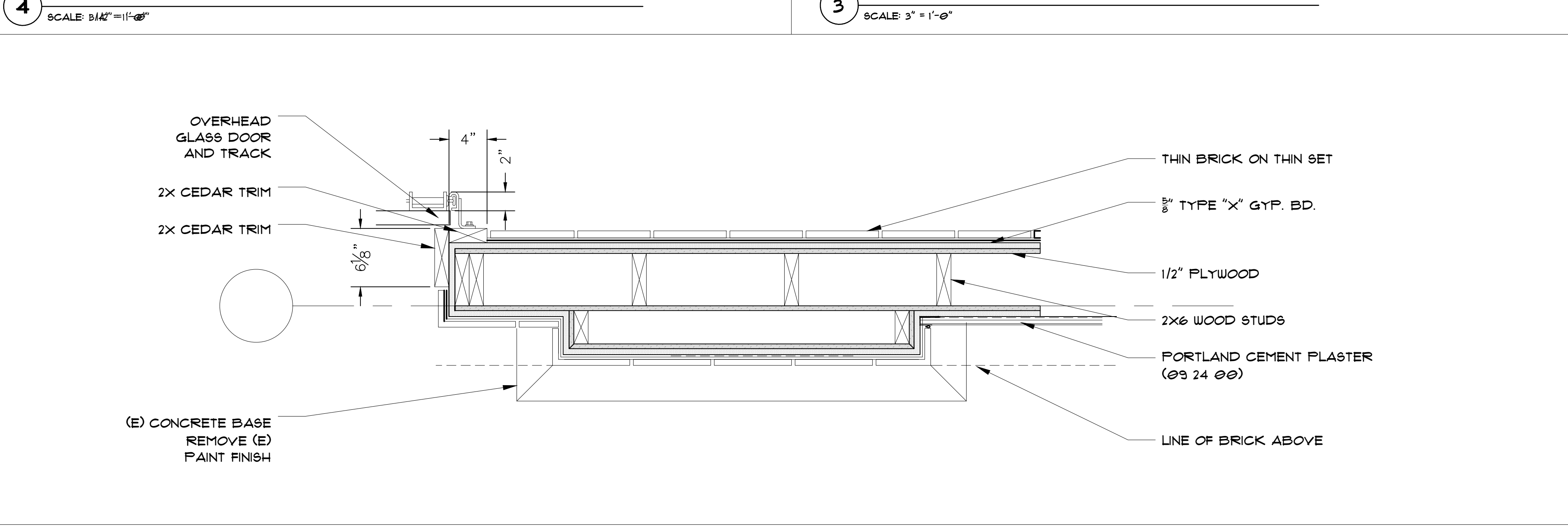
4 THIRD LEVEL RAILING
SCALE: 3/4" = 1'-0"



3 INSIDE JOINT AT BRICK AND STUCCO
SCALE: 3" = 1'-0"



2 PLAN DETAIL - BRICK / SIDING JOINT
SCALE: 3/4" = 1'-0"



1 PLAN DETAIL / OVERHEAD DOOR JAMB
SCALE: 3/4" = 1'-0"

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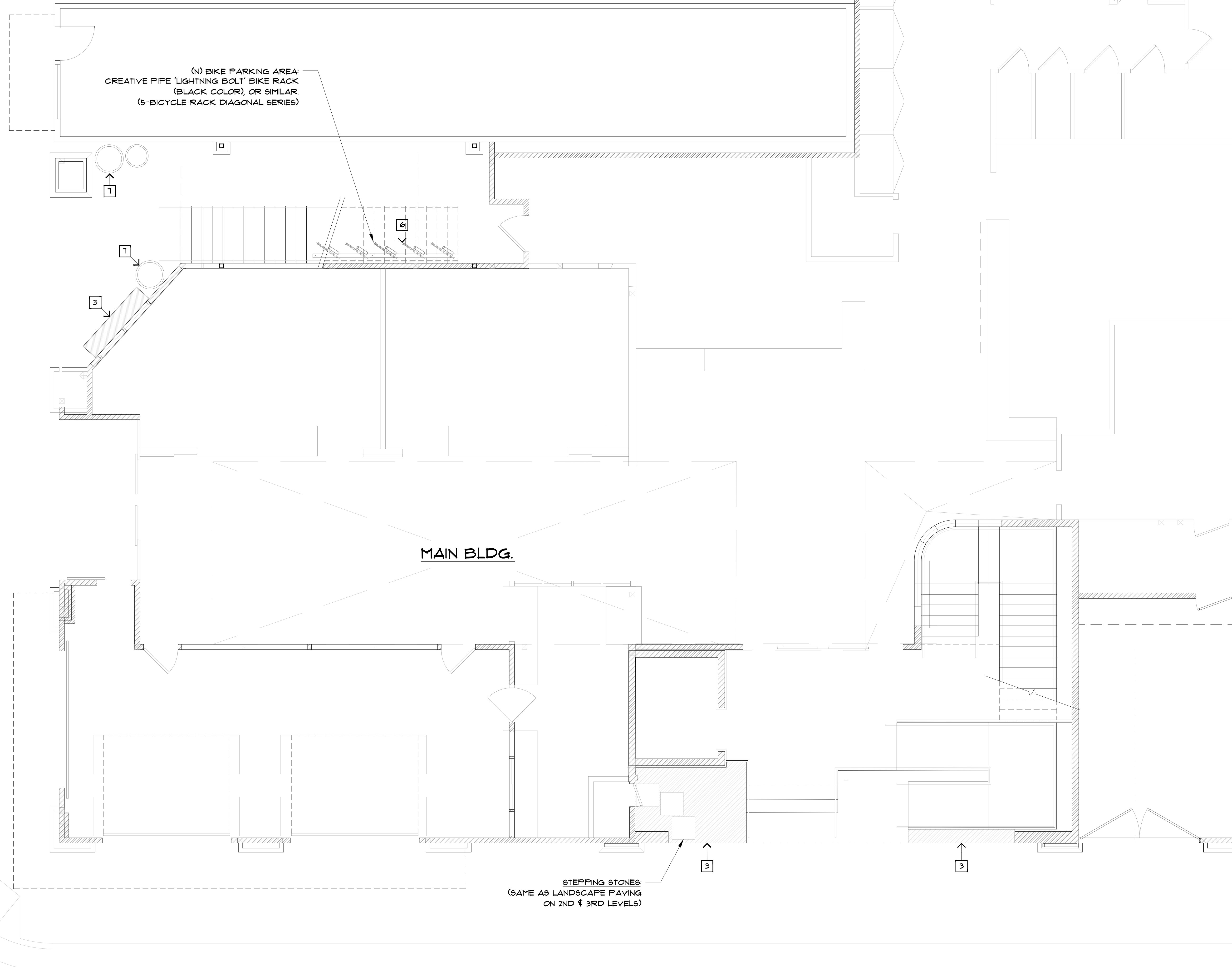
PROPOSED ELEVATIONS

SHEET
A8.1

PDF DATE 11/30/20



CREATIVE PIPE 'LIGHTNING BOLT' BIKE RACK
(G-LR-D, 5 BICYCLE RACK, DIAGONAL SERIES - BLACK COLOR)



SHEET NOTES:

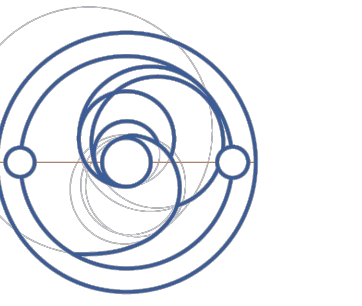
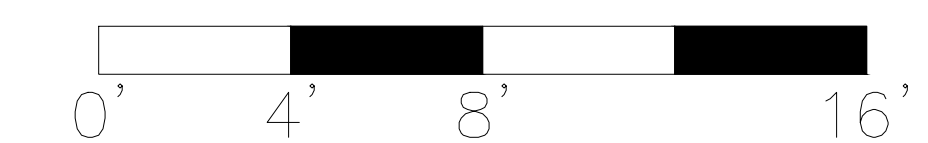
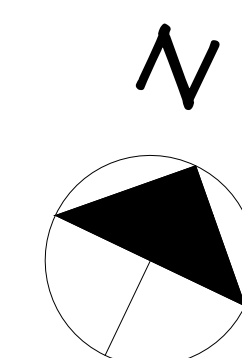
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KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	SITE FURNISHINGS
6	BICYCLE RACK
7	POTTERY
8	GAS FIRE TABLE/VENT FREE FIREPLACE
9	WATER FEATURE
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) TRELIS
14	MODIFIED PARAPET W/ BRICK VENEER
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE



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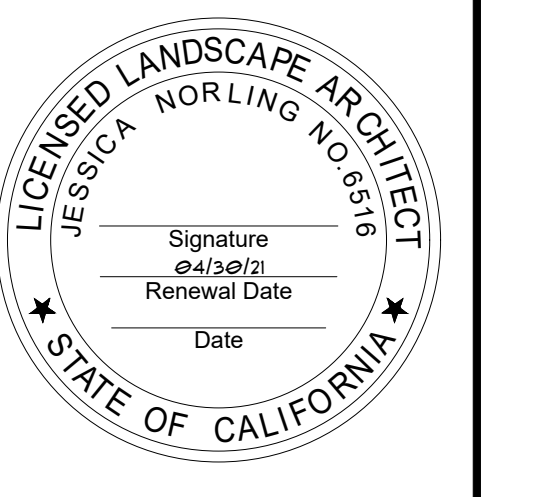
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	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GPB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

THE BEALE GROUP
THE LIVERY PROJECT

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FIRST LEVEL
LANDSCAPE
SITE PLAN

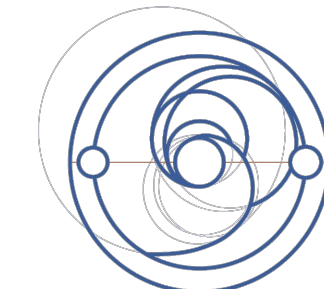
SHEET

L.1

PDF DATE 12/01/20

FIRST LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"



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13	(N) TRELLIS
14	MODIFIED PARAPET W/ BRICK VENEER
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE

THE BEALE GROUP THE LIVERY PROJECT

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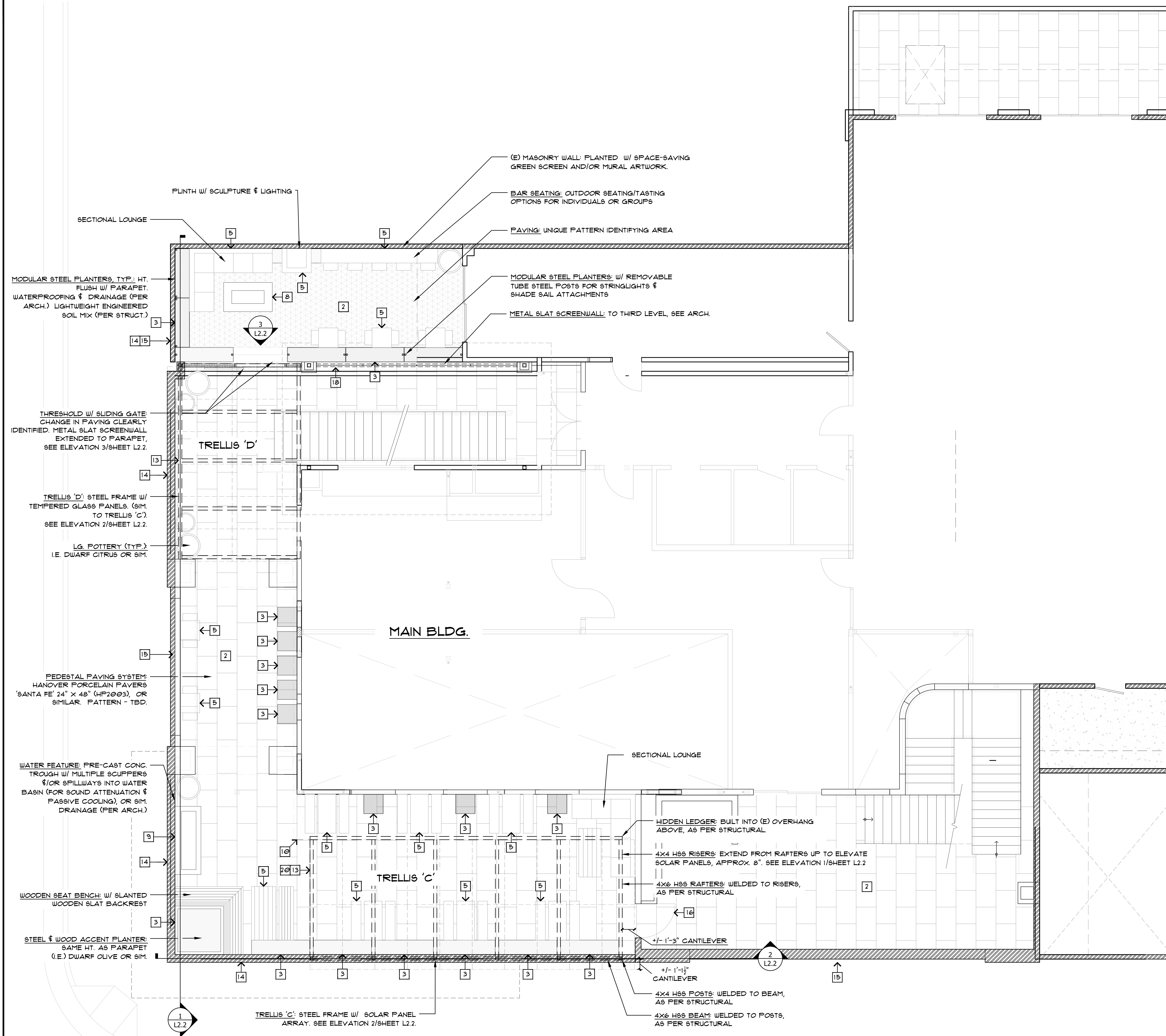


SECOND LEVEL
LANDSCAPE
SITE PLAN

SHEET

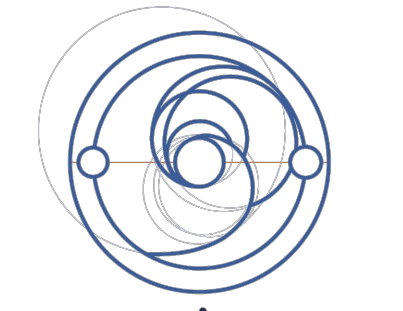
L1.2

PDF DATE 12/01/20



SECOND LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"



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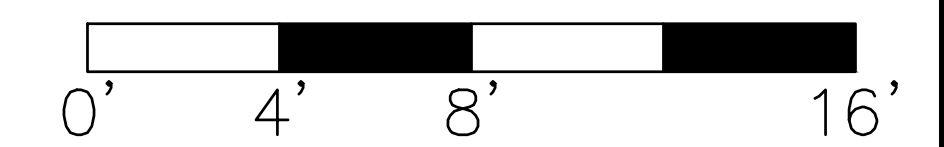
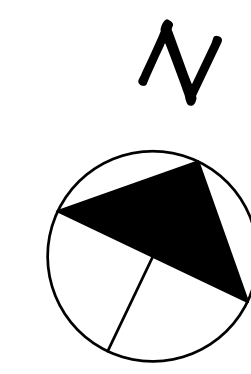
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KEY NOTES:

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19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE



WATER FEATURE: PRE-CAST CONC. TROUGH W/ BRASS OR COPPER SCUPPERS & UNDERWATER LIGHTING, (FOR SOUND ATTENUATION & VISUAL INTEREST), OR SIM. DRAINAGE (PER ARCH.)

ROOFTOP RECESSED PLANTING AREAS: WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.) SCREENWALL OF DENSE BAMBOO OR SIM.

TRELLIS 'B': WEATHERPROOF STANDING-SEAM METAL ROOFING, W/ LG. BEAMS, T&G CEILING, LIGHTING & FANS. SLIDING SCREEN PANELS (4-SIDES), SEE ELEVATION 3/SHEET L2.2

STORAGE AREA: (SEE ARCHITECTURAL DWG.S)

PAVING: COMPOSITE DECKING MATERIAL (RAISED APPROX. 18"), I.E. WOOD-STAMPED TILES, OR SIM.

METAL SCREEN RAILING, TYP.

STEEL GARDEN GATE(S): HSS FRAMING W/ LOCKING LATCH, CUSTOM PERFORATED METAL DOOR & SIDE PANELS

HIDDEN BAR: SLIDING/LOCKING DOORS (W/ BUILT-IN SHELVING, LIGHTING, PLUMBING & FULL-OUT COUNTERS)

MOVEABLE FURNITURE/ FOLDING TABLES (TYP.)

STEEL RAILING: SEE DETAIL 4 (A8.1)

TRELLIS 'A': WELDED ARCHED STEEL FRAME, SEE ELEVATION 1/SHEET L2.2

MODIFIED PARAPET: SEE DETAIL 8 (A8.1)

PEDESTAL PAVING SYSTEM: HANOVER PORCELAIN PAVERS 'SANTA FE' 24" X 48" (HP2003), OR SIMILAR. PATTERN - TBD.

MODULAR STEEL PLANTERS, TYP.: HT. FLUSH W/ PARAPET. WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.)

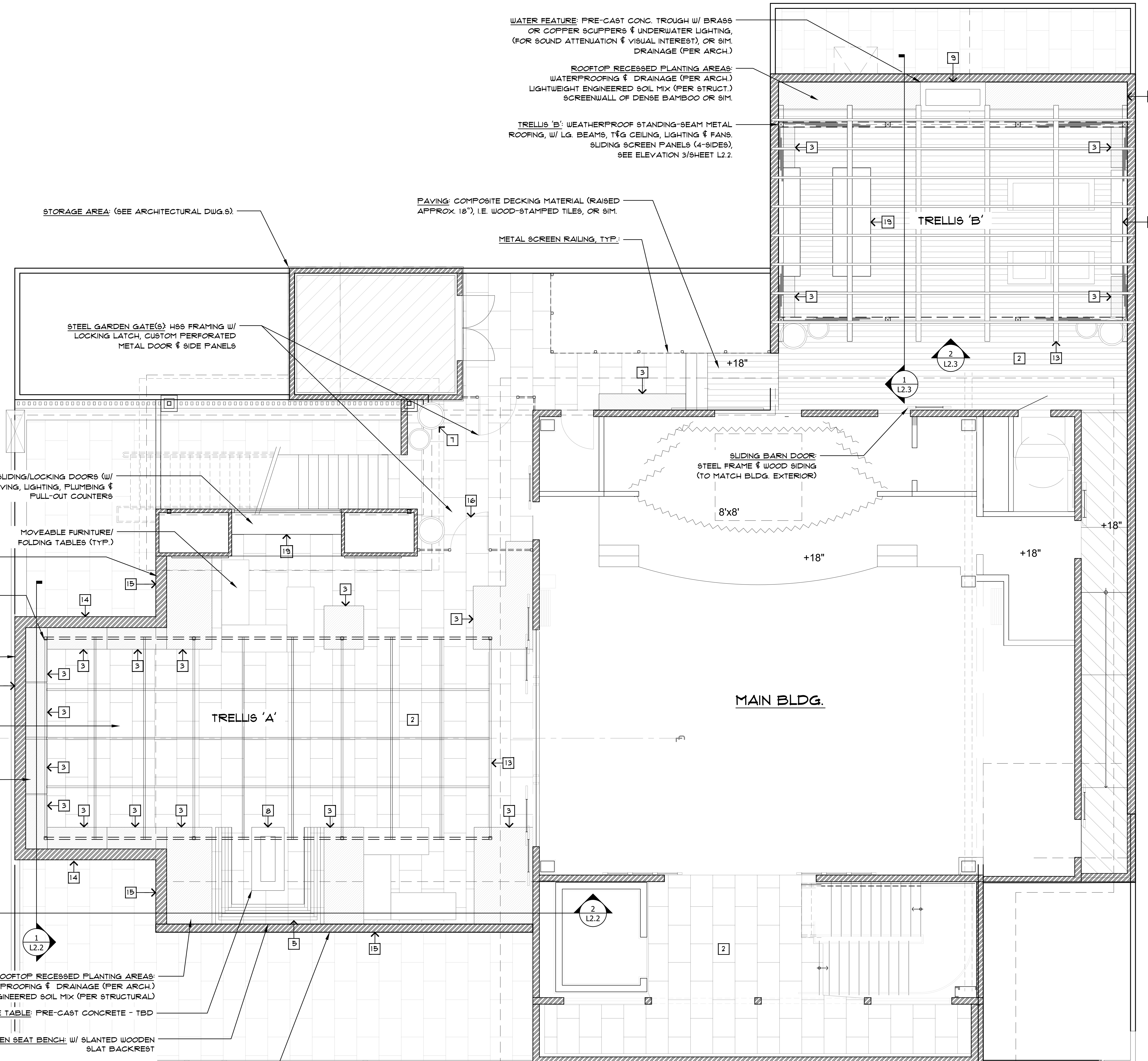
ROOFTOP RECESSED PLANTING AREAS: WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.)

GAS FIRE TABLE: PRE-CAST CONCRETE - TBD

WOODEN SEAT BENCH: W/ SLANTED WOODEN SLAT BACKREST

LINE OF (E) PARAPET W/ NEW STEEL RAILING: SEE DETAIL 4 (A8.1)

MAIN BLDG.



THIRD LEVEL LANDSCAPE SITE PLAN
1/8" = 1'-0"

THE BEALE GROUP
THE LIVERY PROJECT

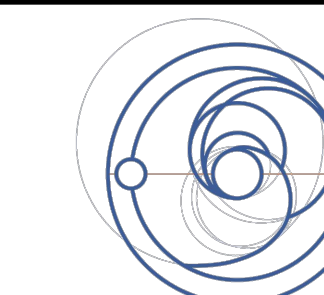
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THIRD LEVEL LANDSCAPE SITE PLAN

SHEET
L1.3

PDF DATE 12/01/20

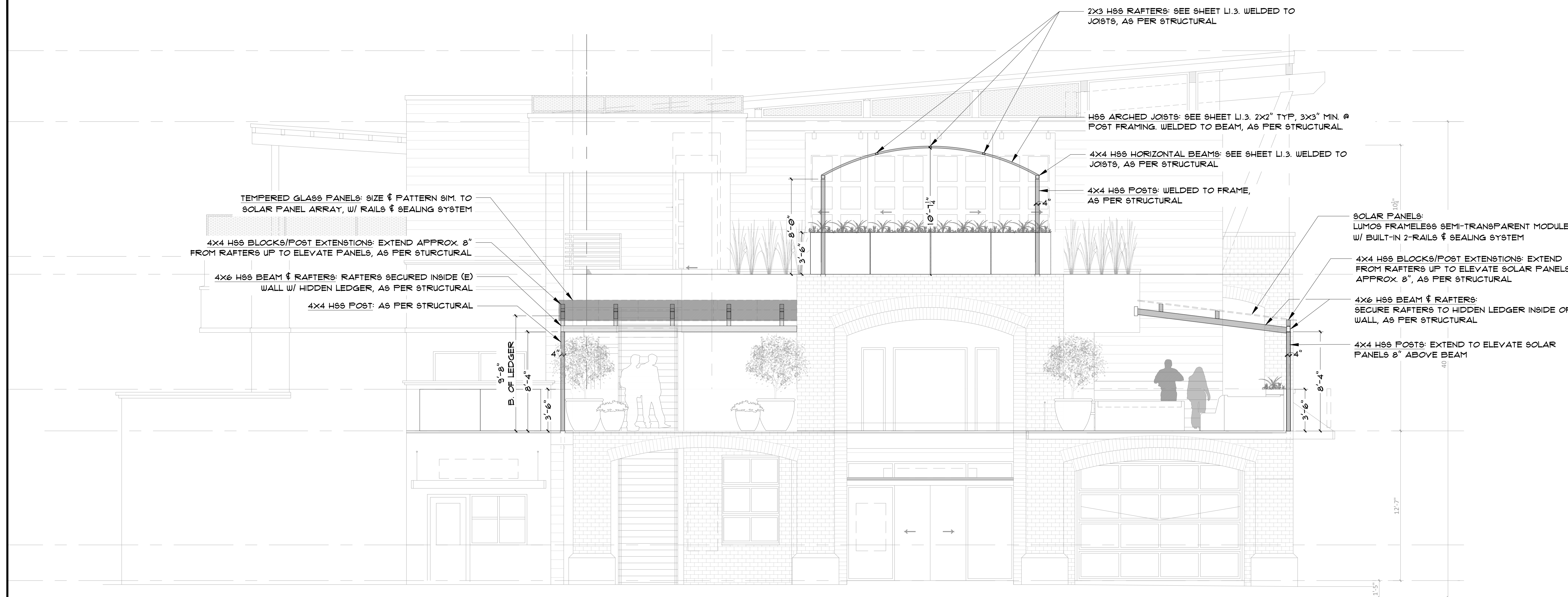


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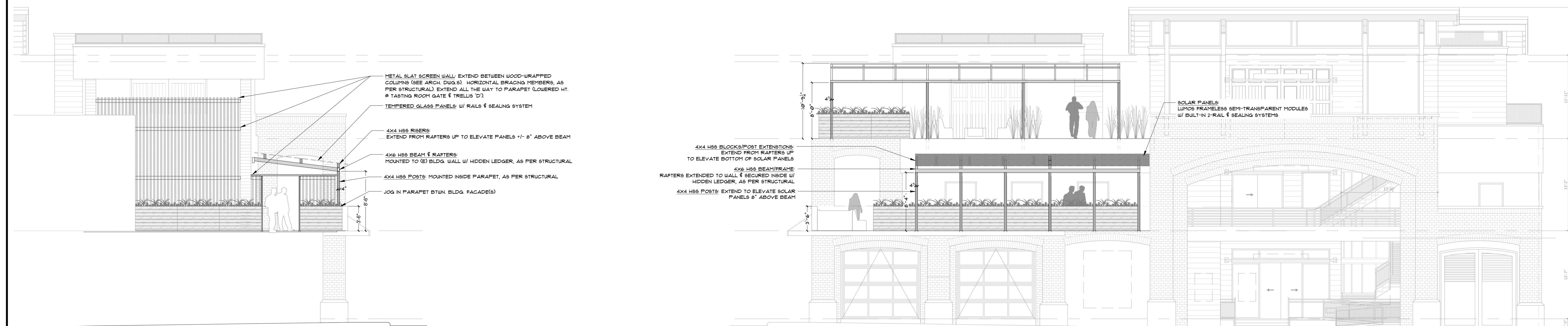
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	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

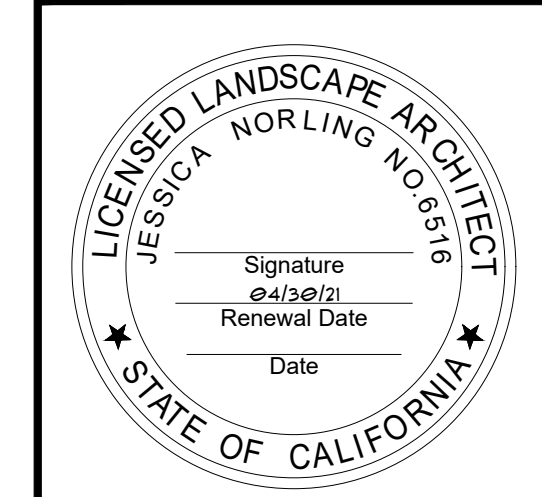
1 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' & 'D' - WEST SECTION-ELEVATION
1/8" = 1'-0"



3 SECOND LEVEL TRELLIS 'D' - NORTH ELEVATION
1/8" = 1'-0"

2 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' - SOUTH SECTION-ELEVATION
1/8" = 1'-0"

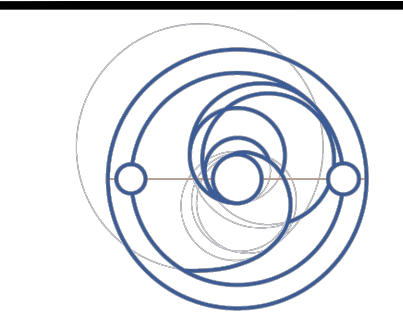
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2ND & 3RD LEVEL
TRELLIS
ELEVATIONS

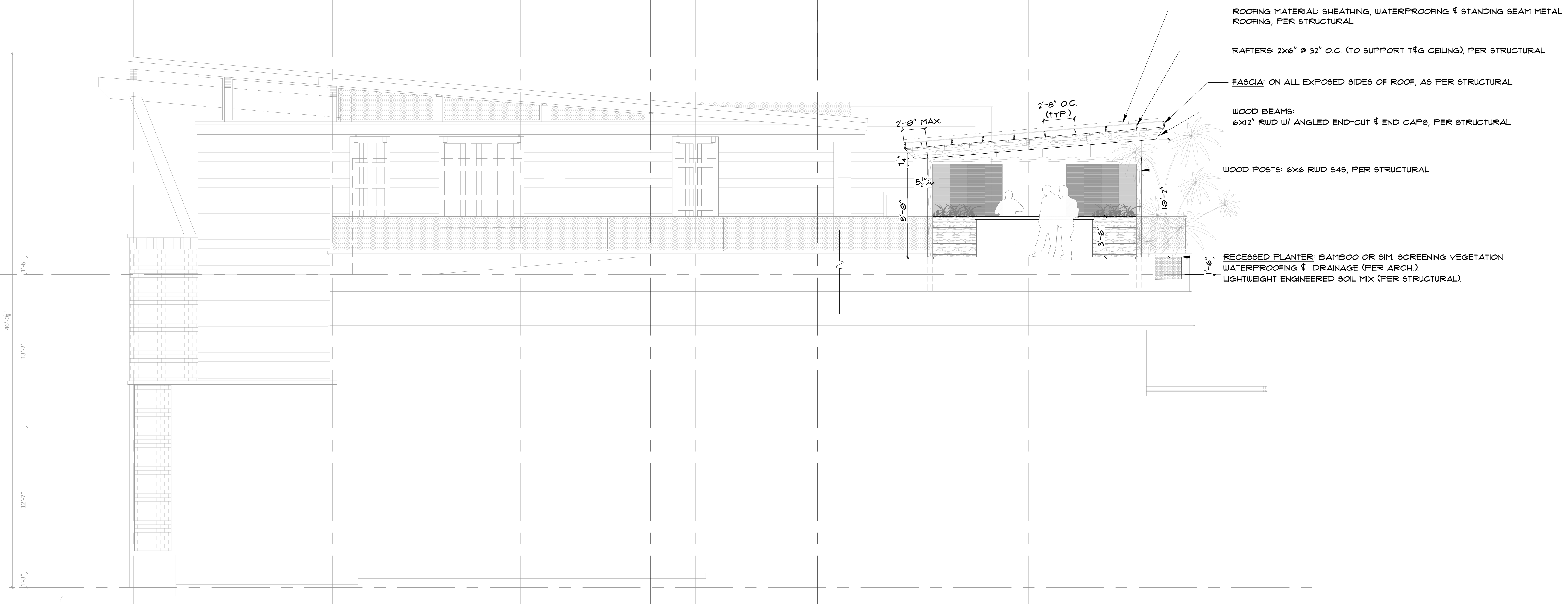
SHEET
L2.1

PDF
DATE 12/01/20



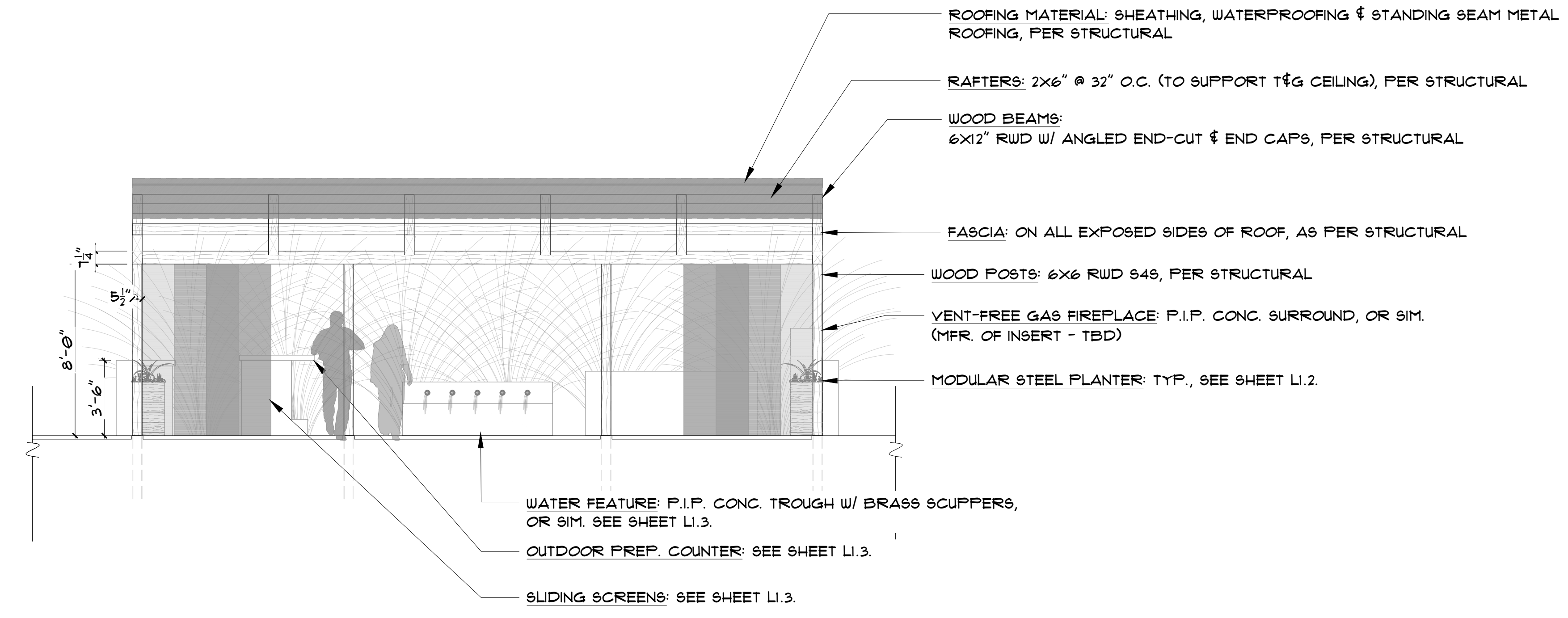
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- ROOFING MATERIAL: SHEATHING, WATERPROOFING & STANDING SEAM METAL ROOFING, PER STRUCTURAL
- RAFTERS: 2x6" @ 32" O.C. (TO SUPPORT T&G CEILING), PER STRUCTURAL
- FASCIA: ON ALL EXPOSED SIDES OF ROOF, AS PER STRUCTURAL
- WOOD BEAMS: 6x12" RUD W/ ANGLED END-CUT & END CAPS, PER STRUCTURAL
- WOOD POSTS: 6x6 RUD S4S, PER STRUCTURAL
- RECESSED PLANTER: BAMBOO OR SIM. SCREENING VEGETATION WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCTURAL)

1 THIRD LEVEL TRELLIS 'B' - EAST SECTION-ELEVATION
1/8" = 1'-0"



- ROOFING MATERIAL: SHEATHING, WATERPROOFING & STANDING SEAM METAL ROOFING, PER STRUCTURAL
- RAFTERS: 2x6" @ 32" O.C. (TO SUPPORT T&G CEILING), PER STRUCTURAL
- WOOD BEAMS: 6x12" RUD W/ ANGLED END-CUT & END CAPS, PER STRUCTURAL
- FASCIA: ON ALL EXPOSED SIDES OF ROOF, AS PER STRUCTURAL
- WOOD POSTS: 6x6 RUD S4S, PER STRUCTURAL
- VENT-FREE GAS FIREPLACE: P.I.P. CONC. SURROUND, OR SIM. (MFR. OF INSERT - TBD)
- MODULAR STEEL PLANTER: TYP., SEE SHEET LI.2

- WATER FEATURE: P.I.P. CONC. TROUGH W/ BRASS SCUPPERS, OR SIM. SEE SHEET LI.3.
- OUTDOOR PREP. COUNTER: SEE SHEET LI.3.
- SLIDING SCREENS: SEE SHEET LI.3.

2 THIRD LEVEL TRELLIS 'B' - SOUTH ELEVATION
1/8" = 1'-0"

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	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

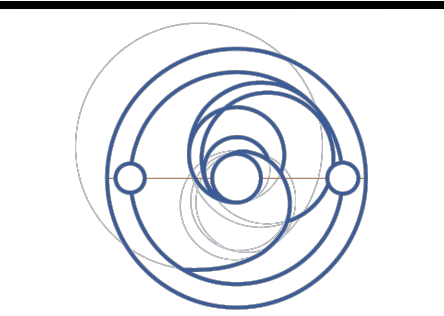
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THIRD LEVEL TRELLIS ELEVATIONS

SHEET
L2.2

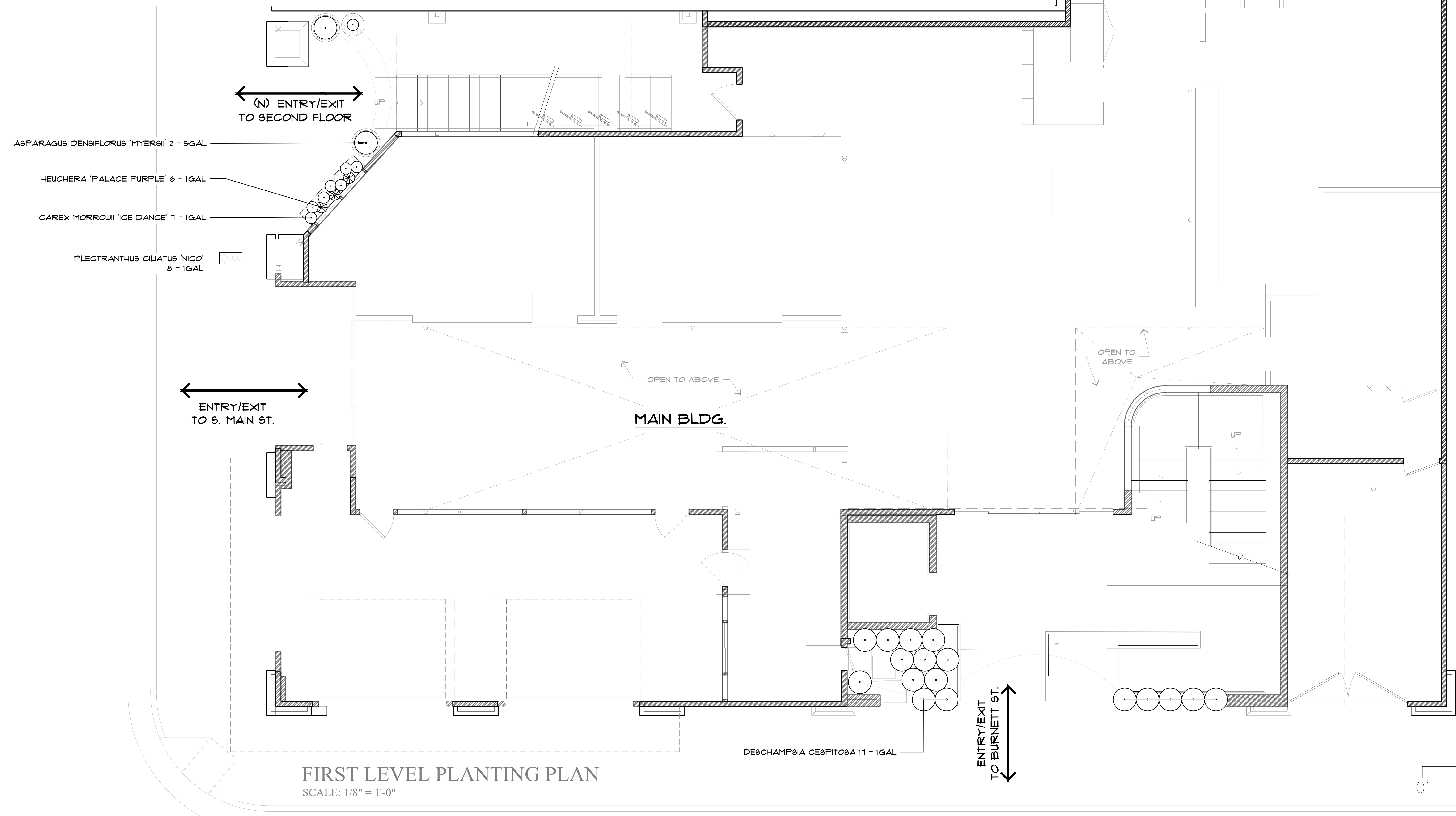
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PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
Asparagus densiflorus 'Myersii'	Asparagus Fern	2	1 GAL	M	Size: 2-3' high x 2-3' wide
Carex morrowii 'Ice Dance'	Sedge	7	1 GAL	M	Size: 12" high x 12" wide
Deschampsia cespitosa	Tufted Hair Grass	17	5 GAL	L	Size: 2-4' high x 2' wide
Heuchera 'Palace Purple'	Island Alum Root	3	1 GAL	M	Size: 12" high x 12" wide
Plectranthus ciliatus 'Nico'	Eyelash Spur Flower	4	1 GAL	M	Size: 6-12" high x 3' wide



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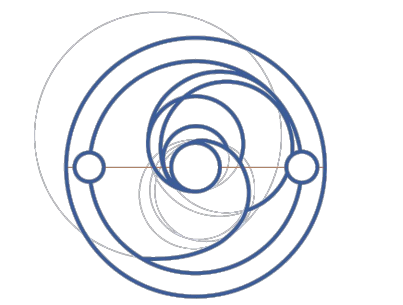
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FIRST LEVEL
PLANTING PLAN

SHEET
L3.1

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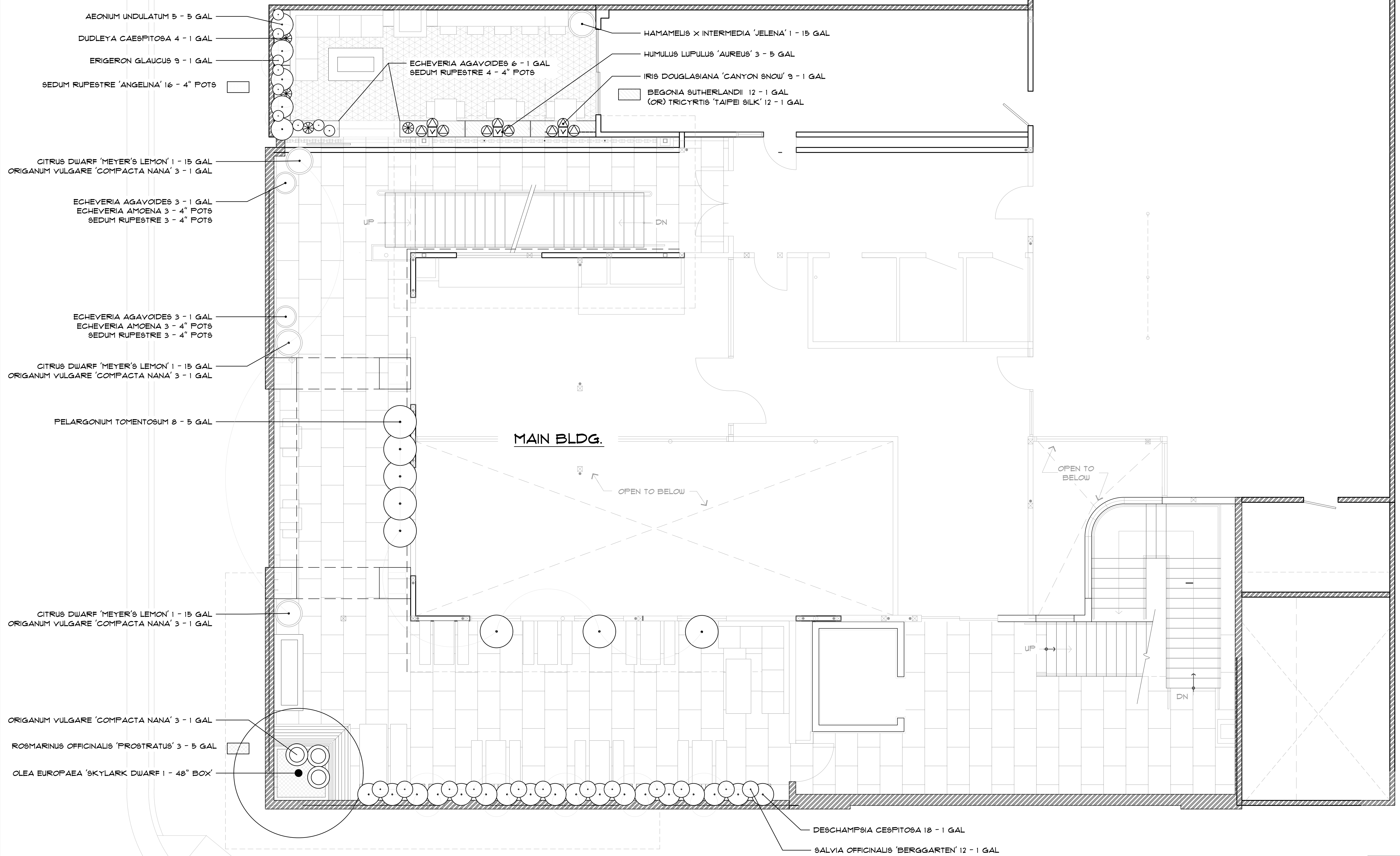


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PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
Aeonium undulatum	Aeonium	5	5 GAL	L/VL	Size: 2-3' high x 1-2' wide
Begonia sutherlandii	Hardy Begonia	12	1 GAL	M	Size: 6" high x 18" w
Citrus Dwarf 'Improved Meyer'	Meyer's Lemon	3	15 GAL	M	Size: 6' high x 7 1/2' w
Deschampsia cespitosa	Tufted Hair Grass	18	1 GAL	L	Size: 2-4' high x 2' w
Dudleya anthonyi, D. caespitosa, (or sim.)	Live Forever	4	1 GAL	L/VL	Size: 6" - 1' high x w
Echeveria agavoides, E. amoena	Hens & Chicks	18	4" POT	L	Size: 6" - 1' high x w
Erigeron glaucus	Beach Aster	9	1 GAL	L	Size: 6" - 12" high x 12" w
Hamamelis x intermedia 'Jelena'	Witch Hazel	1	15 GAL	M	Size: 12-15'ht. x w

Humulus lupulus 'Aureus'	Golden Hops Vine	3	5 GAL	L	Size: 20-30' high x w
Iris douglasiana 'Canyon Snow'	Douglas Iris	9	1 GAL	L	Size: 12-18" high x 1-2' w
Olea europaea, 'Skylark Dwarf'	Dwarf Olive	1	48" BOX	VL	Size: 12-16" high x w
Origanum vulgare 'Compacta Nana'	Oregano	12	1 GAL	M	Size: 5" high x 2' w
Pelargonium tomentosum	Peppermint Scented Geranium	8	5 GAL	M	Size: 1-2' high x 3' w
Rosmarinus officinalis 'Prostratus'	Rosemary	3	1 GAL	L	Size: 2' high x 4-8' w
Salvia officinalis 'Berggarten'	Berggarten Sage	12	1 GAL	L	Size: 18" high x 18" w
Sedum rupestre 'Angelina'	Angelina Stonecrop	32	4" POT	L	Size: 3-6" high x 2' w
Tricyrtis 'Taipei Silk'	Toad Lily	12	1 GAL	M	Size: 2 1/2' high x 18" w

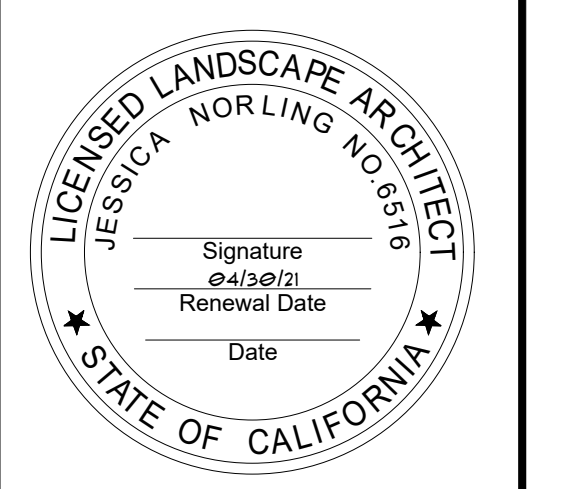


SECOND LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

LEGEND
PERIMETER OF STRUCTURE

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	12/01/20	LANDSCAPE SUBMITTAL			

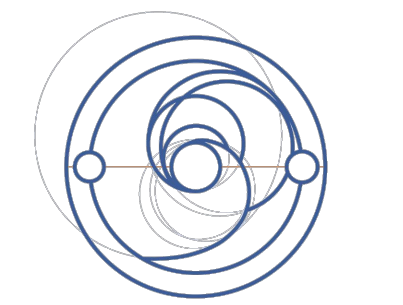
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2ND LEVEL PLANTING PLAN

SHEET
L3.2

PDF DATE 12/01/20

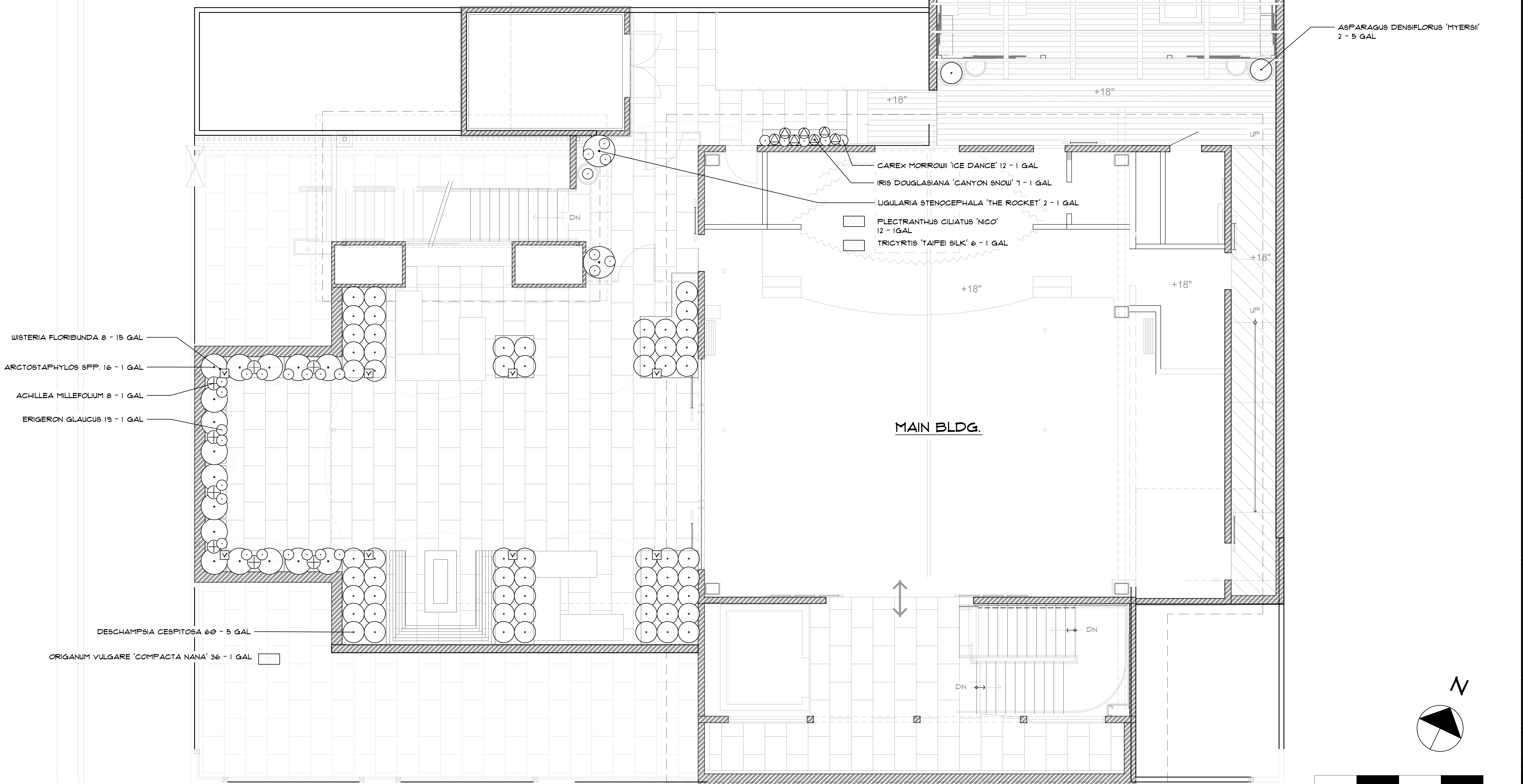


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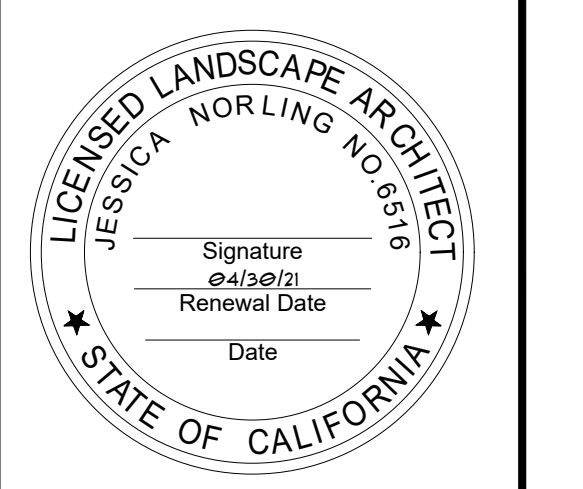
PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
<i>Achillea millefolium</i>	Yarrow	8	1 GAL	L	Size: 12" high x 15" wide
<i>Arctostaphylos uva ursi</i> 'Point Reyes'	Kinnikinnick	16	1 GAL	L	Size: 1' high x 10' wide
<i>Asparagus densiflorus</i> 'Myersii'	Asparagus Fern	2	1 GAL	M	Size: 2-3' high x 2-3' wide
<i>Bambusa</i> spp.	Green Stripe Blowgun Bamboo	10	15 GAL	L	Size: 15' high x 3' w
<i>Carex morrowii</i> 'Ice Dance'	Sedge	12	1 GAL	M	Size: 12" high x 12" wide
<i>Deschampsia cespitosa</i>	Tufted Hair Grass	60	1 GAL	L	Size: 2-4' high x 2' w
Culinary Herbs & Veggies	i.e. Mixed greens & herbs	100	4" POT	SLA	Size: varies
<i>Erigeron glaucus</i>	Beach Aster	19	1 GAL	L	Size: 6" - 12" high x 12" w
<i>Iris douglasiana</i> 'Canyon Snow'	Douglas Iris	7	1 GAL	L	Size: 12-18" high x 1-2' w
<i>Ligularia stenocephala</i> 'The Rocket'	Golden Rocket	2	1 GAL	M	Size: 5' high x 3' w
<i>Plectranthus ciliatus</i> 'Nico'	Eyelash Spur Flower	12	1 GAL	M	Size: 6-12" high x 3' wide
<i>Salvia officinalis</i> 'Berggarten'	Berggarten Sage	12	1 GAL	L	Size: 18" high x 18" w
<i>Tricyrtis</i> 'Taipei Silk'	Toad Lily	6	1 GAL	M	Size: 2 1/2' high x 18" w
<i>Wisteria floribunda</i>	Japanese Wisteria	8	15 GAL	M	Size: 20-25' fast growth.



THIRD LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
			GM	GM, JN	GB, JN
	9/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL			

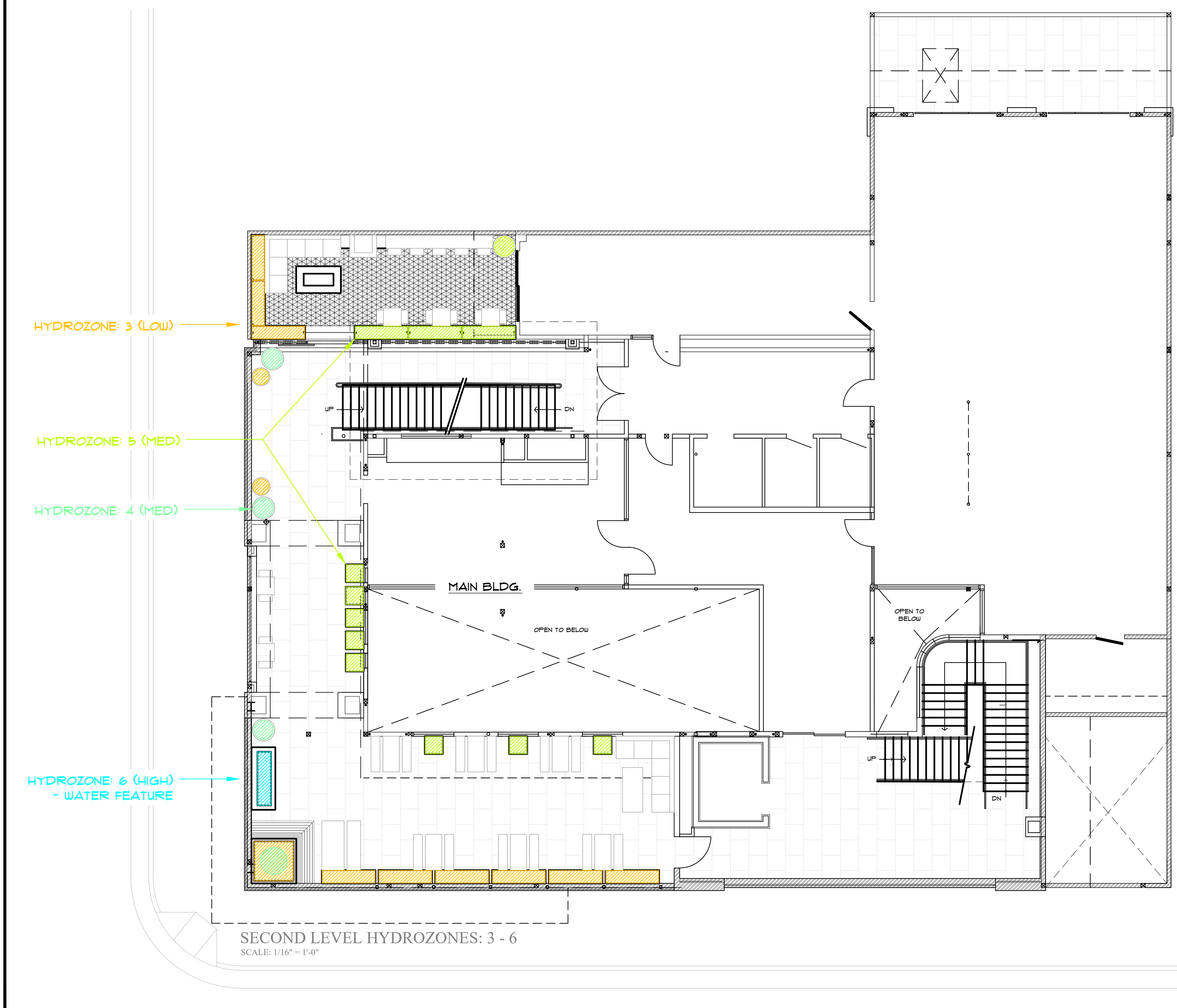
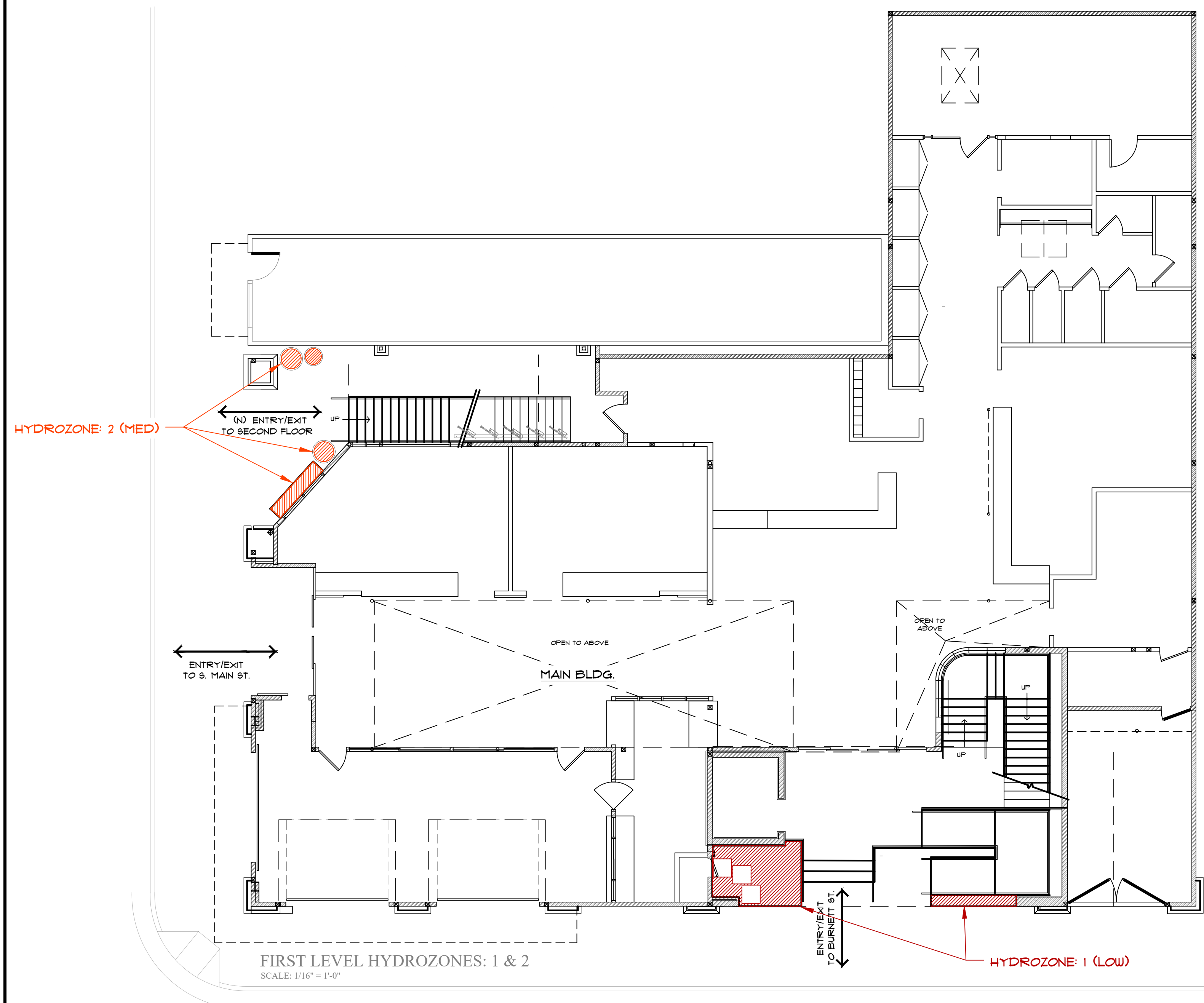
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THE LIVERY PROJECT
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040-054-020



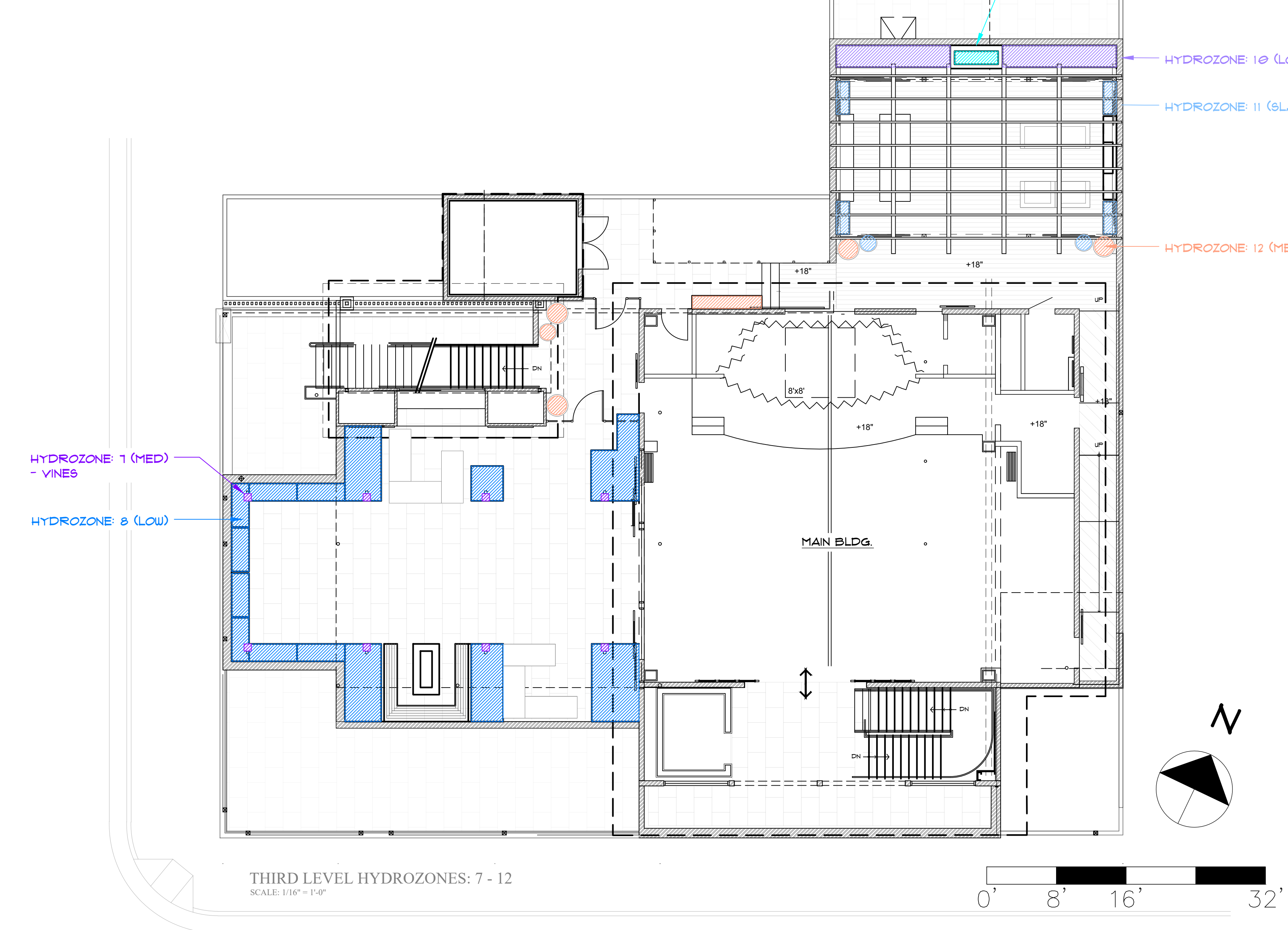
THIRD LEVEL PLANTING PLAN

SHEET
L3.3

PDF DATE 12/01/20



HYDROZONE MAP & WELO CALCULATIONS



Maximum Applied Water Allowance

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

1.) **Maximum Applied Water Allowance (MAWA) [COMMERCIAL]**

MAWA = (ETo) (0.62)(0.45x LA) + (0.55 x SLA)

Where:
 ETo = Annual Net Reference Evapotranspiration (inches)
 0.45 = ET Adjustment Factor
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor to gallons per square foot
 SLA = Portion of the landscape area identified as Special Landscaped Area (square feet)
 0.55 = the additional ET adjustment factor for Special Landscaped Area (1.0 - 0.45 = 0.55)

A.) Net Evapotranspiration Calculation

42	(Annual ETo)		
27.63	(Annual Rainfall)	25	6.91 (Effective Rainfall)
Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall = 35.09			

B.) Adjusted Landscape Area Calculation

716	x 0.45	=	322.2		
27	x 1.00	=	27		
Special Landscaped Area					
Sum of Adjusted Landscape Area = 349.2					
MAWA	35.09	x	349.2	=	7598 gallons

2.) **Estimated Total Water Use (ETWU)**

A.) Net Evapotranspiration Calculation

Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall = 35.09			
--	--	--	--

B.) Adjusted Landscape Area Calculation

0	x 0.1	=	0		
519	x 0.3	=	155.7		
181	x 0.6	=	108.6		
16	x 1.0	=	16		
Sum of Adjusted Landscape Area = 280					
ETWU	35.09	x	280	=	7529 gallons

Irrigation Efficiency Factor

Square footage of landscape on drip	743
Square footage of landscape on spray	0
Total square footage of landscape	743
Adjusted Irrigation Efficiency Factor	0.81

HYDROZONE INFORMATION TABLE

Hydrozone	Plant Factor	Landscape Area	SE	Description
1	LOW	62	if	First Level Planter @ grade (South)
2	MED	20	if	First Level Raised Planters (West)
3	LOW	97	if	Second Level Raised Planters (Perimeter)
4	MED	18	if	Second Level Pots w/ Rabbits (China & Olive Tree)
5	MED	59	if	Second Level Pots (Shade/Part Shade)
6	HIGH	9	if	Second Level Water Feature
7	MED	56	if	Third Level Planters @ grade (South-West Terrace)
8	LOW	295	if	Third Level Planters (South-West Terrace)
9	HIGH	7	if	Third Level Water Feature
10	LOW	65	if	Third Level Bamboo Screenwall (North Terrace)
11	SLA	27	if	Third Level Culinary Herbs & Greens (North Terrace)
12	MED	28	if	Third Level Pots (Shade/Part Shade)
TOTAL SF		743		

LANDSCAPE NOTES

PROJECT APPLICANT: (SEE COVER SHEET)

SIGNATURE: _____

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

- TOTAL LANDSCAPE AREA: 143 SF
 PROJECT TYPE: COMMERCIAL
 WATER SUPPLY TYPE: POTABLE
 LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL
 DEDICATED SERVICE METER OR PRIVATE SUB-METER:
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST @ A RATE OF 4CY (MIN) PER 1,000SF OF PLANTING AREA - INCORPORATED TO A DEPTH OF 6". (APPLIES ONLY TO FIRST FLR. SOUTH ENTRANCE PLANTING AREA @ GRADE). "GRAB N' GROW ORGANIC COMPOST" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS. FH: #1(10') 515-1215
 - A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. "ORGANIC ARBOR MULCH" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS. FH: #1(10') 515-1215
 - ALL FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANT HOLES.
 - RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
 - "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."
 - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT."

Builders Studio
 OF SEBASTOPOL
 555 SO. MAIN STREET SUITE 1
 SEBASTOPOL, CALIFORNIA 95472
 OFFICE: (707) 827-3388 FAX: (707) 827-3263
 www.BUILDERSSTUDIOINC.com
 CSL: 878243

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	JN	GM
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

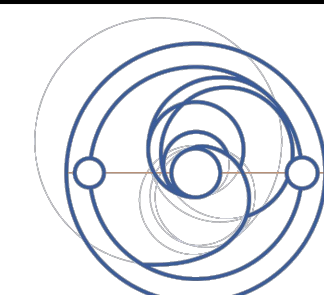
THE BEALE GROUP
THE LIVERY PROJECT
 135 S. MAIN
 SEBASTOPOL, CA 95472
 040-054-020

LICENSED LANDSCAPE ARCHITECT
 JESSICA NORLING HODGES
 Signature: _____
 #41362
 Renewal Date: _____
 Date: _____
 STATE OF CALIFORNIA

HYDROZONES & WELO CALC. S

SHEET
L3.4

PDF DATE: 12/01/20



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REV.	DATE	DESCRIPTION	DESIGNED		DRAIN		CHECKED	
			GM	JN	GM	JN	GM	JN
	9/15/20	DESIGN REVIEW SUBMITTAL						
	10/21/20	RESUBMITTAL - ROOF UPDATE						
	12/09/20	LANDSCAPE SUBMITTAL						



Asparagus densiflorus 'Meyersii'
Asparagus fern



Carex morrowii 'Ice Dance'
Sedge



Plectranthus ciliatus 'Nico'
Eyebash Spur Flower



Heuchera maxima i.e. 'Palace Purple'
Island Alum Root



Deschampsia cespitosa
CA Native Tufted Hair Grass



Olea europaea 'Skylark Dwarf'
Dwarf Olive Tree



Rosmarinus officinalis 'Prostratus'
Rosemary



Origanum vulgare 'Compacta Nana'
Oregano



Deschampsia cespitosa
CA Native Tufted Hair Grass



Salvia officinalis 'Berggarten'
Berggarten Sage



Pelargonium tomentosum
Peppermint Scented Geranium



Citrus Dwarf Meyer Lemon
Improved Meyer Lemon



Sedum rupestre 'Angelina'
Angelina stonecrop



Aeonium undulatum
Aeonium



Dudleya anthonyi
CA Native Live Forever



Erigeron glaucus
CA Native Beach Aster



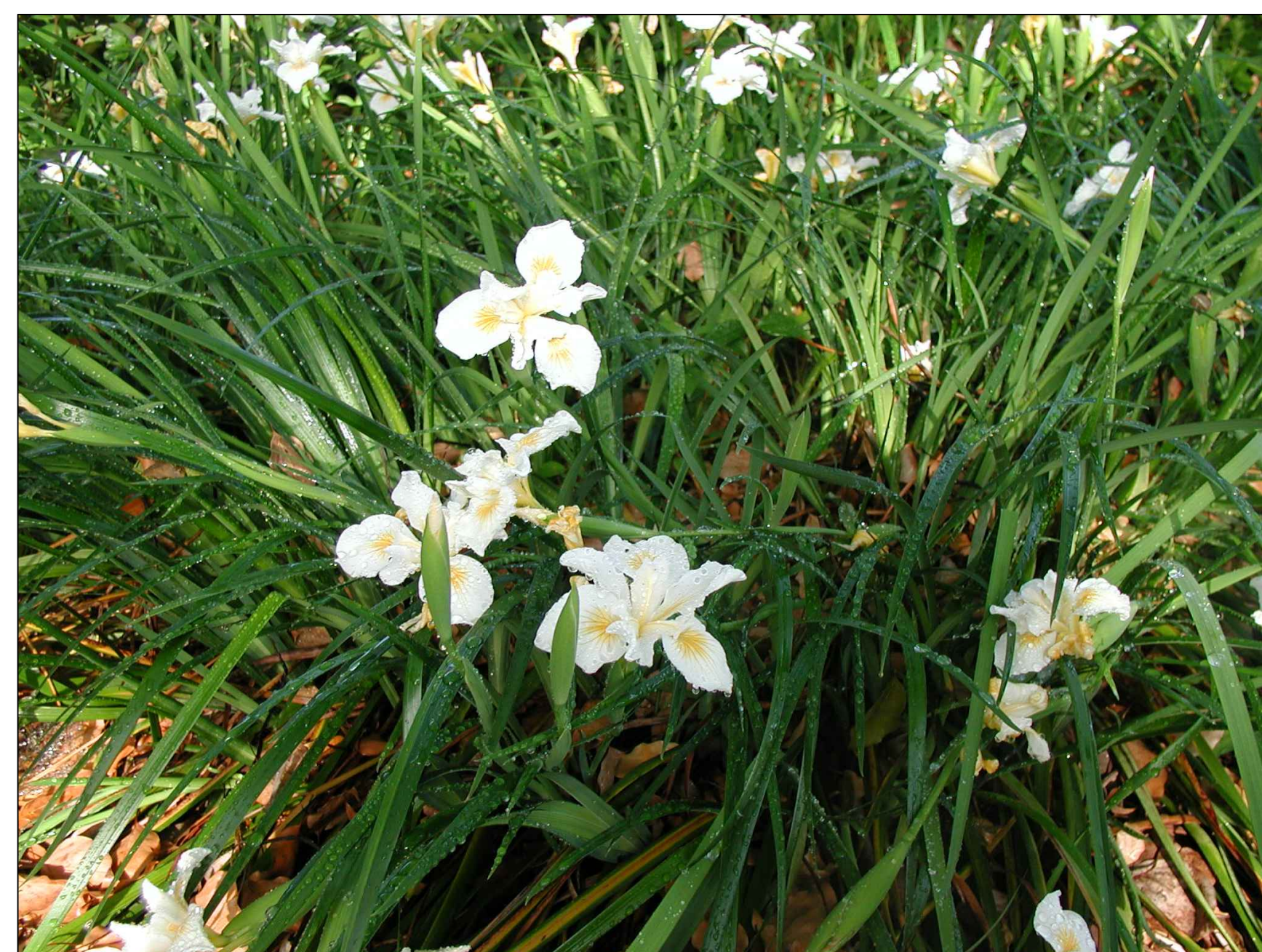
Echeveria colorata
'Hens & Chicks'



Humulus lupulus 'Aureus'
Golden Hops Vine



Hamamelis x intermedia 'Jelena'
Witch Hazel



Iris douglasiana 'Canyon Snow'
Douglas Iris



Tricyrtis 'Taipei Silk'
Toad Lily



Begonia sutherlandii
Hardy Begonia

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PLANTING PALETTE:
FIRST & SECOND
LEVELS

SHEET
L3.5

PDF
DATE 12/01/20



Japanese Wisteria on Arched Metal Trellis

Wisteria floribunda
Japanese wisteria



Deschampsia cespitosa
CA Native Tufted Hair Grass



Deschampsia cespitosa
CA Native Tufted Hair Grass



Origanum vulgare 'Compacta Nana'
Oregano



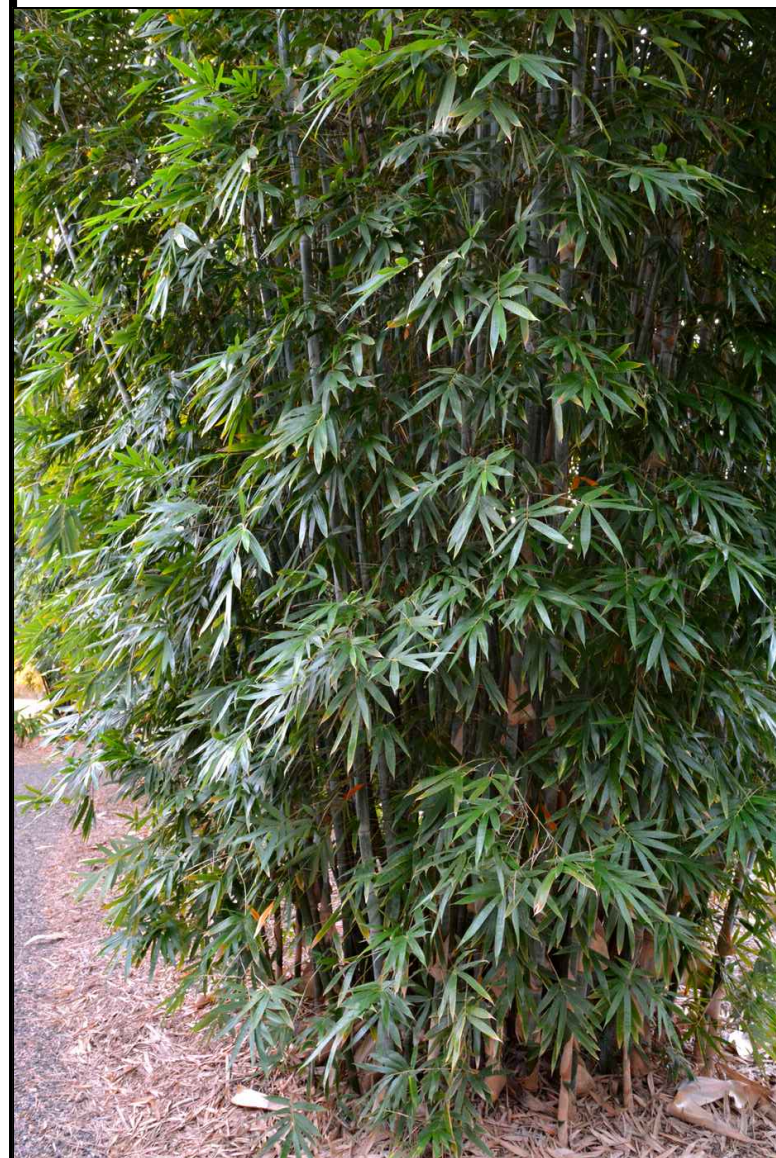
Arctostaphylos spp. (uva ursi or sim.)
Manzanita



Achillea millefolium
Yarrow



Erigeron glaucus
CA Native Beach Aster



Bambusa spp.
'Green Stripe Blougan Bamboo' (or sim.)



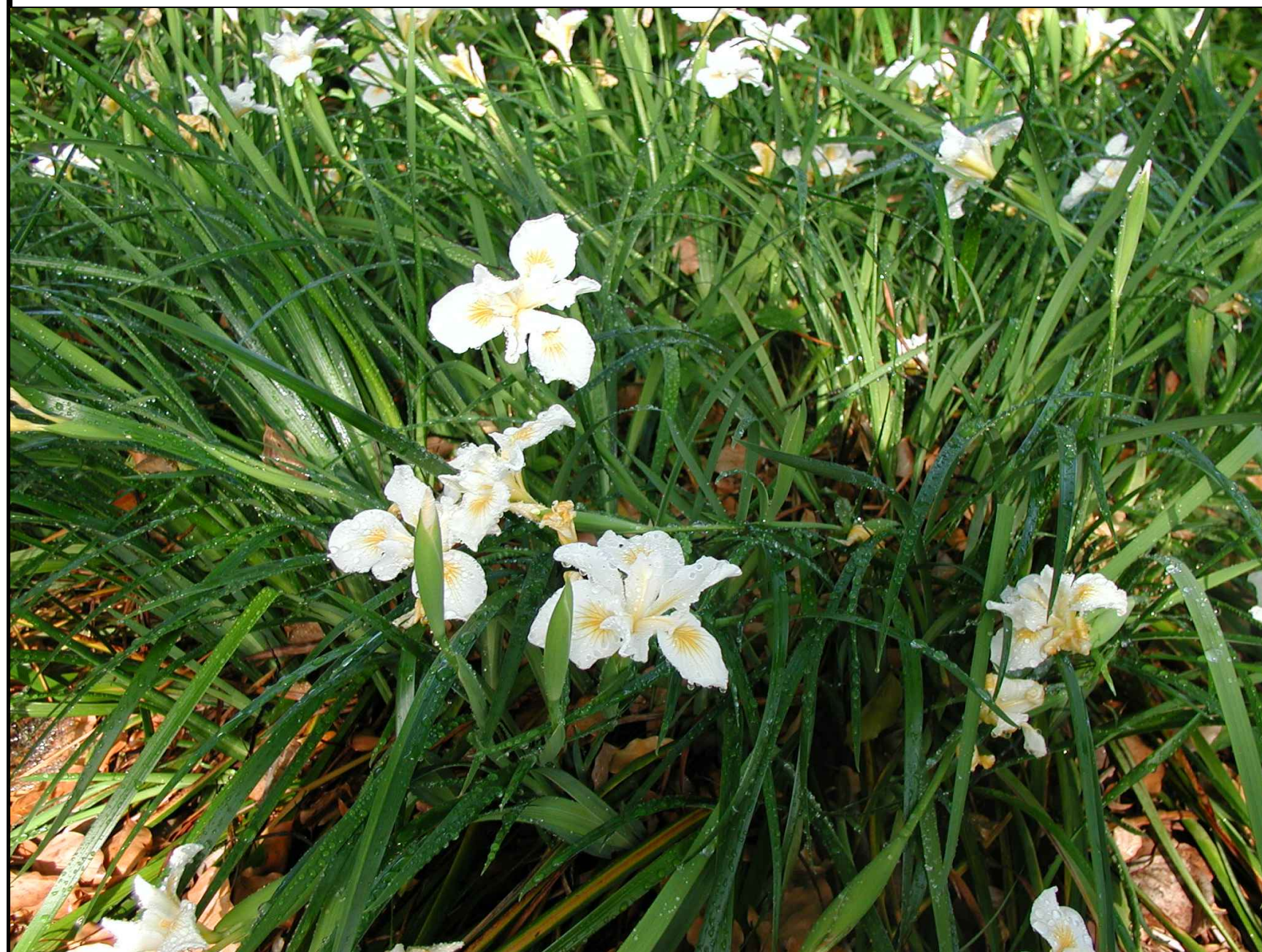
Asparagus densiflorus 'Meyersii'
Asparagus fern



Ligularia stenocephala 'The Rocket'
Golden Rocket



Tricyrtis 'Taipei Silk'
Toad Lily



Iris douglasiana 'Canyon Snow'
Douglas Iris



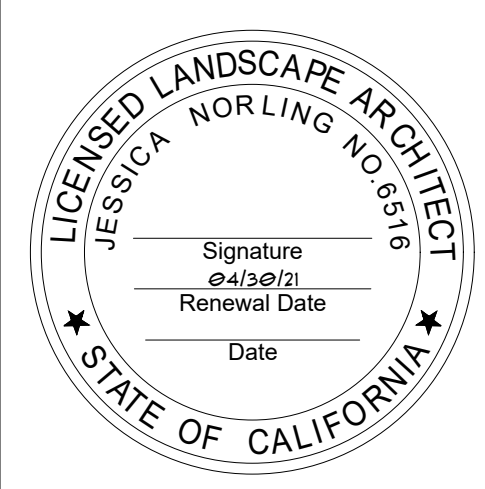
Carex morrowii 'Ice Dance'
Sedge



Plectranthus ciliatus 'Nico'
'Eyelash Spur Flower'

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED	
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	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GM	JN
	10/21/20	RESUBMITTAL - ROOF UPDATE	JN	JN	JN	JN
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN	JN

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040-054-020



PLANTING PALETTE:
THIRD LEVEL

SHEET
L3.6

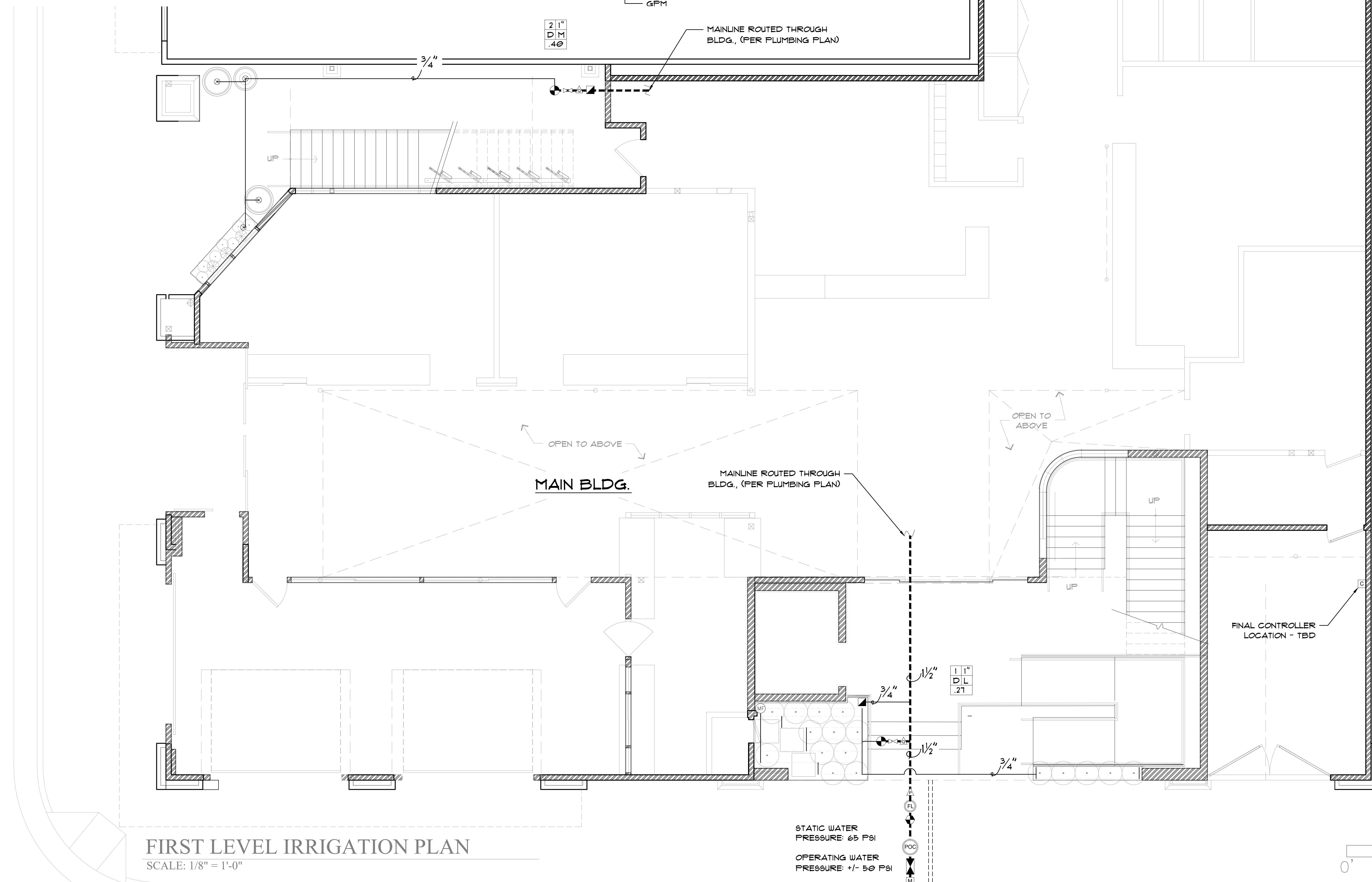
PDF DATE 12/01/20

IRRIGATION LEGEND:

SYMBOL			
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.	
M	WATER METER:	(E) Water Meter : 2"	Dedicated service meter or private sub-meter (required for non-residential landscapes >1,000 sf).
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level.	Backflow prevention device (refer to local public health agency for addit'l requirements).
F	FILTER:	AMIAD 1-1/2"Ø W/ 300 Mesh SS Woven Wire Screen.	
PR	PRESSURE REGULATOR:	TBD	Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve	Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FS	FLOW SENSOR:	Data Industrial IR250B - 1" Flow Sensor	Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Rain Dial: RD-1200-EXT-R with CL-100 Wireless Weather Sensing System & ETO Smart Controller (or Sim).	Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
RS	RAIN-SENSOR:	Hunter Wireless 'Rain Click' (or Sim). Mount on eave.	
RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.

QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
MBV	MANUAL BALL-VALVE:	NIBCO T-PP-600 Brass, Full-Port Ball valve (or Sim). 1" line size.	
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
DI	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve	0.42 GPH Dropper (Recommended for Loamy soils).
MFLV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
SO	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 3/4" in-line drip tubing at each plant. See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
SO	STUB-OUTS (@ PLANTERS): XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to 3/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	

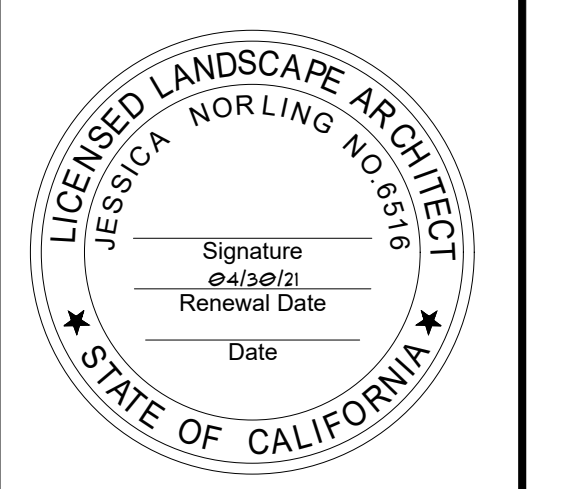
VALVE #		XERIBUD EMITTERS:	
1	SIZE	5 GAL	3 EMITTERS
2	WUCOL RATING	1 GAL	2 EMITTERS
3	IRR. TYPE (DRIP/SPRAY)	4" POT	1 EMITTERS
4	GPM		



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	9/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL			

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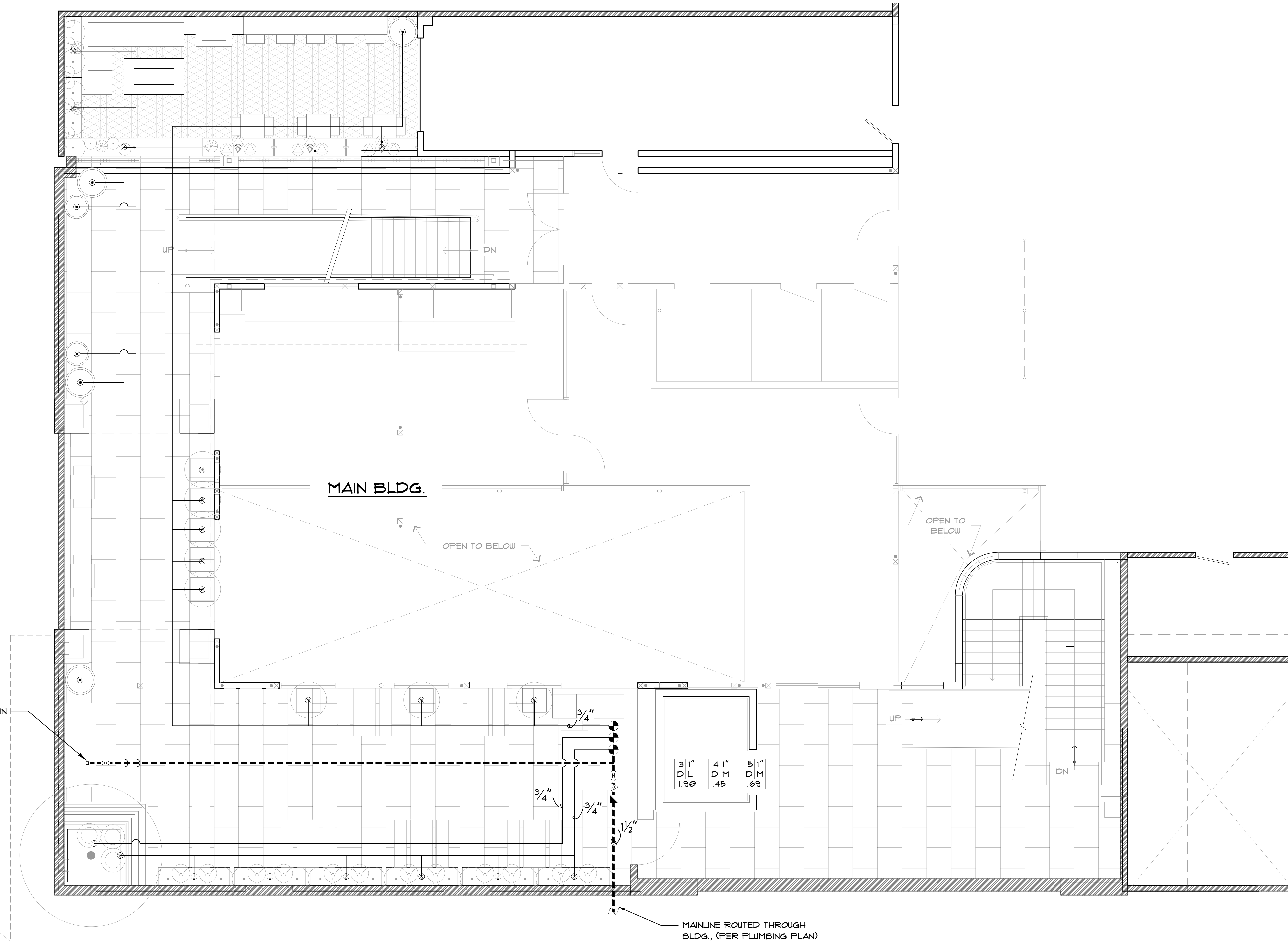
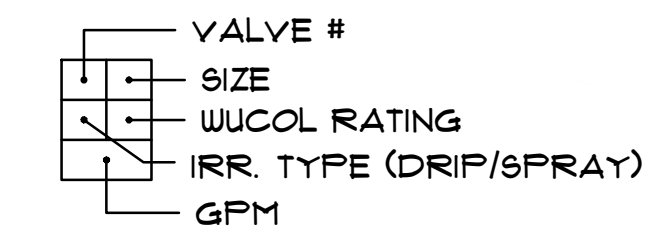
FIRST LEVEL IRRIGATION PLAN

SHEET
L4.1

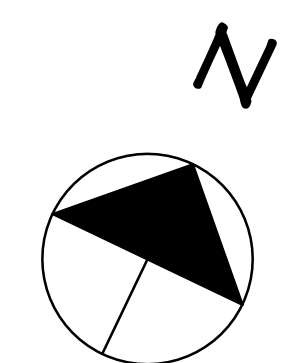
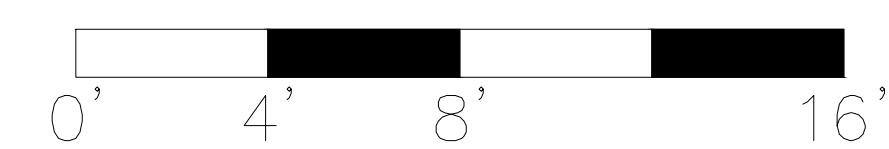
IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	NOTES
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.
M	WATER METER:	(E) Water Meter : 2" Dedicated service meter or private sub-meter (required for non-residential landscapes >1,000 sf).
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level. Backflow prevention device (refer to local public health agency for addnl requirements).
F	FILTER:	AMIAD 1-1/2"Ø W/ 300 Mesh SS Woven Wire Screen.
PR	PRESSURE REGULATOR:	TBD Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FS	FLOW SENSOR:	Data Industrial IR250B - 1" Flow Sensor Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Rain Dial: RD-1200-EXT-R with CL-100 Wireless Weather Sensing System & ETO Smart Controller (or Sim). Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
RS	RAIN-SENSOR:	Hunter Wireless "Rain Click" (or Sim). Mount on eave.
RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg "OMR-100" Pressure regulation module - in valve box. With disc filter & PRV for Netafim valves.

QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler
MVB	MANUAL BALL-VALVE:	NIBCO T-FP-600 Brass, Full-Port Ball valve (or Sim), 1" line size.
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL Route through building (per Plumbing Plan).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
DI	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve 0.42 GPH Dripper (Recommended for Loamy soils).
MFLV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header
SO	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 3/4" in-line drip tubing at each plant. See Irrigation Details. All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
SO	STUB-OUTS (@ PLANTERS) XERIBUD EMITTERS:	Transition from lateral to 3/4" poly blank line to 3/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details. All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding. Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL



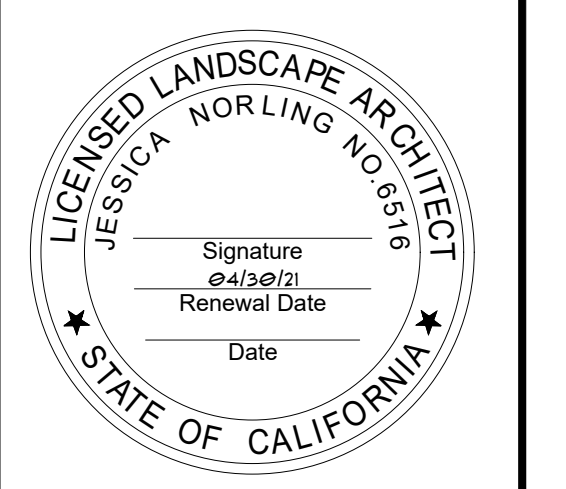
SECOND LEVEL IRRIGATION PLAN
 SCALE: 1/8" = 1'-0"



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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GS
	10/21/20	RESUBMITTAL - ROOF UPDATE			JN
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

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 SEBASTOPOL, CA 95472
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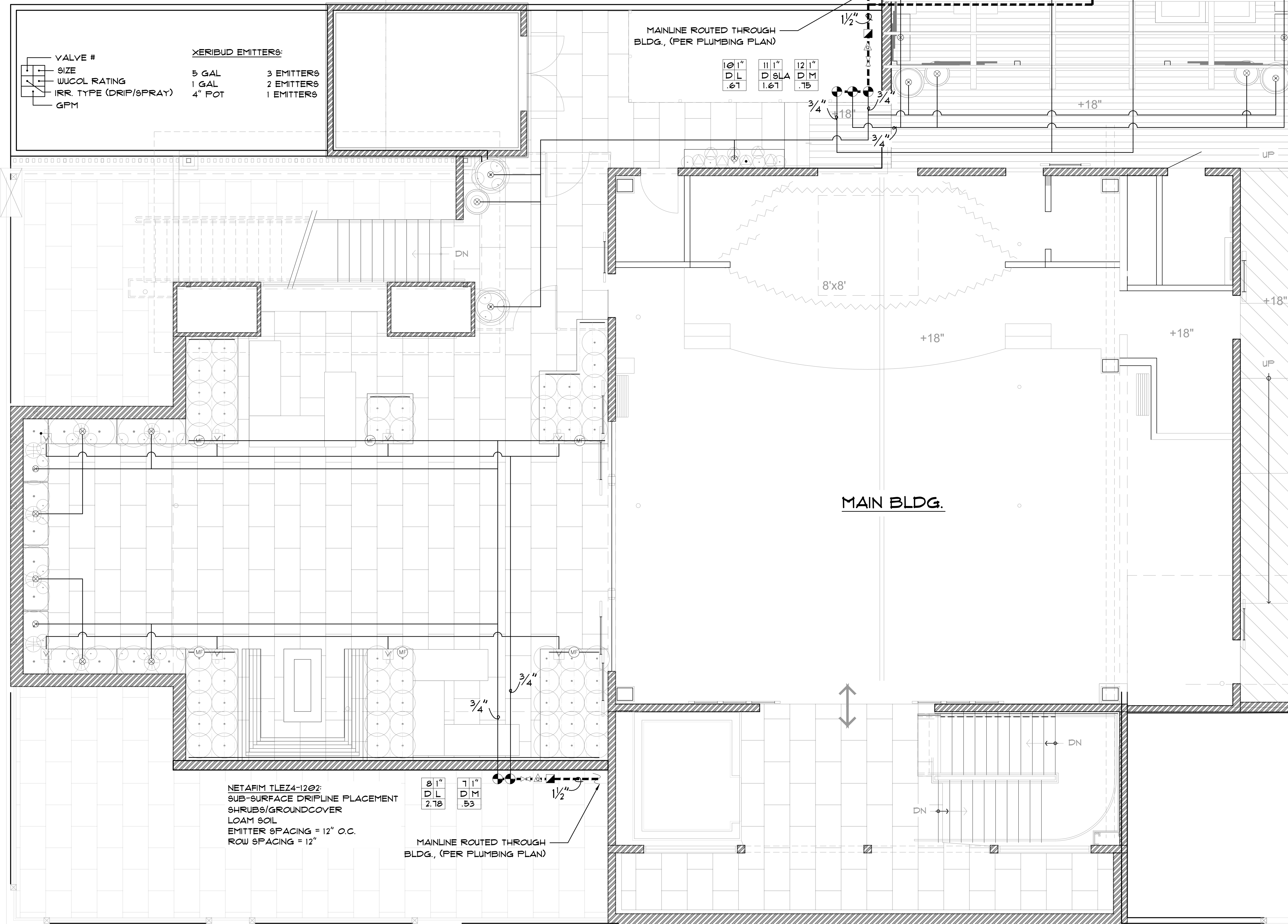


SECOND LEVEL IRRIGATION PLAN

SHEET
L4.2

IRRIGATION LEGEND:

SYMBOL			
Ⓡ	RAIN-SENSOR:	Hunter Wireless 'Rain Click' (or Sim). Mount on eave.	
Ⓡ	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.
Ⓡ	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
Ⓡ	MANUAL BALL-VALVE:	NIBCO T-FP-600 Brass, Full-Port Ball valve (or Sim), 1" line size.	
-----	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
---	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
---	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve	0.42 GPH Dropper (Recommended for Loamy soils).
Ⓡ	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
Ⓡ	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 1/4" in-line drip tubing at each plant. See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
Ⓡ	STUB-OUTS (@ PLANTERS): XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to 1/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
Ⓡ	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
-----	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	



THIRD LEVEL IRRIGATION PLAN
 SCALE: 1/8" = 1'-0"

IRRIGATION NOTES

TOTAL LANDSCAPE AREA: 143 SF
 WATER SUPPLY TYPE: POTABLE
 LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL
 DEDICATED SERVICE METER OR PRIVATE SUB-METER: NOT REQ'D
 STATIC WATER PRESSURE: 65-68 PSI
 OPERATING WATER PRESSURE: +/- 50 PSI

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. THIS SYSTEM IS DESIGNED BASED ON AN APPROXIMATE OPERATING PRESSURE OF 50 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ONCE VERIFIED IN FIELD. (IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A MIN. OF 15-30 PSI PER DRIP VALVE, AND A MAX. FLOW RATE OF 1-8 GPM PER DRIP VALVE).
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- WATER LINES AND EQUIPMENT SHOWN IN PAVING (OR WITHIN BLDG.) ARE FOR GRAPHIC CLARITY ONLY, UNLESS OTHERWISE SPECIFIED. ALL EQUIPMENT SHALL BE LOCATED IN DESIGNATED PLANTING AREAS (TBD). ALL PIPING LOCATED W/IN PAVING SHALL INCLUDE PROPERLY SIZED SLEEVING AND SHALL BE STRAIGHT-LINE W/ NO CONNECTIONS.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR. (N/A)
- CONTRACTOR SHALL FLUSH ALL LINES THOROUGHLY PRIOR TO INSTALLATION OF EMITTERS, AND INCLUDE A WHOLE-SYSTEM FILTER.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

Builders Studio
 OF SEBASTOPOL
 555 SO. MAIN STREET SUITE 1
 SEBASTOPOL, CALIFORNIA 95472
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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	JN	JN
	10/21/20	RESUBMITTAL - ROOF UPDATE	GM	JN	JN
	12/01/20	LANDSCAPE SUBMITTAL	GM	JN	JN

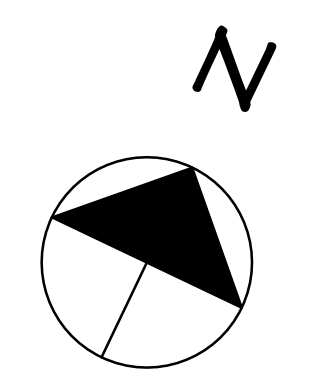
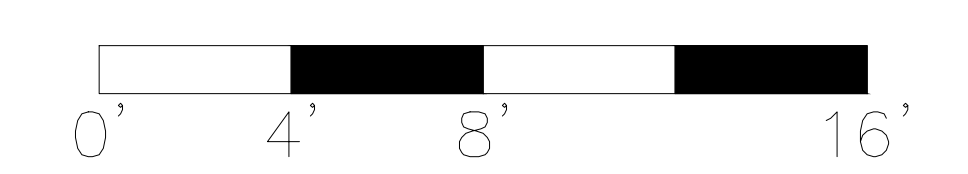
THE BEALE GROUP
THE LIVERY PROJECT
 135 S. MAIN
 SEBASTOPOL, CA 95472
 040-054-020

LICENSED LANDSCAPE ARCHITECT
 JESSICA NORLING 00516
 Signature: [Signature]
 04/28/20
 Renewal Date: [Date]
 State of California

THIRD LEVEL IRRIGATION PLAN

SHEET
L4.3

PDF DATE: 12/01/20



[City Council](#)
Mayor Patrick Slayter
Vice Mayor Una Glass
Michael Carnacchi
Sarah Glade Gurney
Neysa Hinton



[Planning Director](#)
Kari Svanstrom
[Associate Planner](#)
Alan Montes
[Senior Administrative Assistant](#)
Rebecca Mansour

City of Sebastopol Design Review Board Staff Report

Meeting Date: November 18, 2020
Agenda Item: 7A
To: Design Review Board
From: Alan Montes, Associate Planner
Subject: Design Review – Continued from May 6, 2020
Recommendation: Approval with Conditions
Applicant/Owner: The Beale Group
File Number: 2020-010
Address: 6950 Burnett Street
CEQA Status: Categorical Exemption: Section 15301: Class 1
General Plan: Central Core (CC)
Zoning: Downtown Commercial (CD)

Introduction:

This is a Design Review application, requesting approval to modify the existing building at 6950 Burnett Street, located at the northeast corner of the Burnett Street and South Main Street intersection. Several of the previous tenants include Round Table Pizza, Sonoma West Times, and Greenfield Learning Inc.

This item was previously reviewed by the Board on May 6, 2020 and was continued to a date uncertain. Staff has summarized the constructive comments made at the meeting below:

- The proposal is dressing up the building, aside from the addition of the tower and the rooftop structures.
- The building should be completely transformed.
- This building needs a much stronger presence on the corner of Burnett Street and South Main Street.
- The corners should be bolder.
- The corner should rise to the second story by catching the eye with volume instead of a light and airy trellis.
- The addition of the tower seems overwhelming to the rest of the building.
- The dark color that is proposed is making the building recede more than stand out, which is the opposite of what the building needs.
- The building does not have a lot of detail and scale.
- The best architectural precedent in the County are the agricultural buildings.
- The materials and color may be overwhelming.
- The variety in reclaimed wood could be too much. Reclaimed wood is more of an accent feature.
- The alley feels like a back entrance.
- More details on the rollup doors are needed.



Present Condition



May 6, 2020 Proposal (Prior)



November 18, 2020 Proposal (current)

Project Description:

The applicant has revised the design by choosing a new material palette and significantly modifying the design to tie this building in with the agricultural history of the area, as well as modernizing the building. The current design utilizes a thin brick cladding on the front façade, on the second level the building would have smooth stucco in a shade of dark gray and horizontal cedar siding with a clear stain. The cedar will continue to the third floor where the applicant has added an enclosed multipurpose space, in addition to the rooftop deck, seen in the previous iteration.

The first level is proposed to be a food hall and marketplace with indoor/outdoor seating including a new covered porch. Most of the space will be common area for customers use. The second level will primarily be used for back of house purposes including shared offices, storage, along with a potential shared prep/presentation kitchen. The applicant is also intending on having beverage services that will provide access to the full menus of the kitchens below. Customers will also have access to three existing balconies with partial covering. Third level will be providing access to indoor and outdoor spaces, that will have beverage services with access to all the kitchens below. This space is designed to accommodate live entertainment and special events, which will require further review/approval by the Planning Commission for live music.

The applicant has provided preliminary signage, landscaping, and lighting plans for reference purposes only at this time. The applicant intends on submitting final versions of these plans as deferred submittals that will be reviewed by the Design Review Board at a later time.

Environmental Review:

The project is categorically exempt from the requirements of CEQA, pursuant to Section 15301, Class 1, which exempts exterior alterations involving negligible or no expansion of existing use, as the project is an existing building, the addition is less than 10,000 sf, is proposing cosmetic exterior improvements, the site is located in an area that is served by all utilities and is not an environmentally sensitive site.

General Plan Consistency:

The General Plan Land Use Designation for the site is Central Core. The General Plan states that the Central Core “designation applies to portions of Sebastopol's Downtown and nearby areas. The Central Core designation allows office, commercial, and retail uses, as well as mixed-use residential developments. Projects shall achieve a minimum FAR of 1.0, and the maximum FAR shall not exceed 2.5 (not including the residential use) [for new uses]. This designation is intended to implement the Downtown Plan and enhance the vitality and character of Sebastopol's historic commercial area. Housing is encouraged on upper stories”. The project is consistent with the intention of the Central Core designation in that the project will enhance the existing façade, add amenities, and add several new retail spaces, including restaurants, to the Downtown.

The project is also consistent with the following General Plan Policies:

Community Design Policy CD 1-13: Encourage the enhancement and beautification of all areas of the community.

The project will renovate the façade and interior of the building resulting in an enhanced and beautified design, as the project will take the existing dated building and enhance it by adding a modern but rustic brick cladding, cedar siding, smooth grey stucco, metal windows

and doors, resulting in a modern, but historic aesthetic. The project will also enhance the community by adding new retail spaces and amenities to the town, including a patio space on the ground floor, a roof deck, and elevator to provide access to the upper floors.

Economic Vitality Policy EV 3-3: Continue to implement the Sebastopol Downtown Plan, including standards for land use, public spaces, traffic circulation, and building design, which affirm the unique character of Downtown and emphasize the Downtown as a central gathering place.

The project is consistent with this policy as it will: 1) expand restaurants and retail opportunities on Burnett St.; 2) rehabilitate and existing building by redesigning the entire building with an improved design; and 3) preserve community history by preserving the mural in the alley and by tying the new design in with the history of the site by incorporating elements of the previous building on this site.

Economic Vitality Policy EV 4-4: Encourage the development of civic amenities, entertainment venues, retail and restaurants, and services that increase visitation, spending, and tourism.

The project will create new spaces for retail and restaurant uses, as well as creating a unique rooftop deck, which will generate new spending and tourism opportunities, as well as visitation and gathering in downtown by local residents.

Economic Vitality Policy EV 5-2: Encourage the rehabilitation and retrofit of existing commercial, office, and industrial buildings to meet current market needs and code requirements.

The project is proposing to retrofit an existing office/commercial building and converting it to retail and restaurant space, as well as bringing the building up to current code, such as the addition of an elevator.

Sebastopol Downtown Plan Consistency:

The Sebastopol Downtown Plan (SDP) purpose is to make the Downtown economically strong, provide space and facilities for community and cultural activity, and to beautify the Downtown environment.

Staff has reviewed the Downtown Plan and has identified the following applicable items from the SDP:

- 1) Expand retail to include restaurants, specialty shops and entertainment.
- 2) Burnett St. to be retail oriented.
- 3) Provide alternatives to automobile travel.
- 4) That architecture be of high quality.
- 5) Rehabilitation of existing buildings.
- 6) Preserve Community History.

Staff considers that this project is consistent with items 1, 2, 3, 4, 5, and 6. The project is consistent with Items 1 and 2 in that the project is providing a marketplace (retail/restaurant) type uses and is located on Burnett Street. The project is consistent with Item 3 in that 6 bicycle parking spaces are being added to the site; additionally, the site is located near Sonoma County Transit lines that run through downtown. Staff finds the project is consistent with Items 4 and 5,

in that the project will rehabilitate an existing building and improve the façade with a high-quality design that will be a significant improvement over the existing façade. Lastly, the project is consistent with Item 6, in that the applicant is proposing to preserve the painted mural sign inside the building's alley. The sign is not in the City's Historic Resources Inventory but is part of the community's character.

Zoning Ordinance Consistency:

The site is in the Downtown Core (CD) Zoning District. "The CD District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This district provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City's central downtown area."

Staff believes that the proposed project is consistent with the purpose of the CD Zoning District in that this project will be taking an existing commercial building and repurposing it as a marketplace and food hall, with new amenities including a covered patio, a rooftop deck and an accessible elevator which will increase the vibrancy in the area and will be an overall benefit to the Downtown.

Use – 17.25.020.

This is a Design Review application; however, staff wants to note that the proposed uses retail, office, and restaurants are permitted uses under the Sebastopol Municipal Code (SMC) Section 17.25.020. Any uses that are proposed that require a Use Permit in the future, such as live music events, will need to apply and be reviewed separately.

Development Standards 17.25.030.

Setbacks. The CD district does not have required front, side, or rear setbacks, unless the subject site is abutting a residential district. This property is not abutting a residential district and is compliant with the setback requirements.

Height. The height limit for a nonresidential building in the CD district is 40', 3-stories. The project proposes a maximum height of 46', which does exceed the height limit. However, SMC Section 17.100.020 allows for several exceptions to the height limit, which are discussed below.

General Provisions Relating to Height 17.100.020

17.100.020(A)(2) - Cornices and parapets may be permitted up to three and one-half feet in excess of applicable height limits.

The project is utilizing parapets around the mechanical equipment located above the alley/stairs. These parapets are approximately 41.5' above grade and are within the allowed height limit for parapets.

17.100.020(B)(1) - In nonresidential districts, cupolas, steeples, gas storage holders, radio and other towers, water tanks, mechanical equipment, elevator towers, nontower wind turbines, and screening for such features may be permitted up to five feet in excess of applicable height limits, provided the area of such elements does not exceed 15 percent of roof area. Mechanical equipment shall be screened from view. The Design Review Board may approve features up to 10 feet in excess of applicable height limits, if it finds the feature necessary for compelling practical reasons, or if it would significantly enhance building aesthetics.

The project is proposing to exceed the allowed 5' height increase specified above. However, the Board may allow an increase of up to 10' for cupolas, steeples, gas storage holders, radio and other towers, water tanks, mechanical equipment, elevator towers, nontower wind turbines, as long as the element does not exceed 15 percent of the roof area and the Board finds that the feature is necessary for compelling practical reasons, or if it would significantly enhance building aesthetics.

The applicant is proposing to exceed the height limit by approximately 6', to accommodate the elevator tower and to screen it in a way where it is part of the building. The applicant is proposing to create a "floating" roof on the third floor that starts along the north end of the multipurpose area on the third floor and then extending over the elevator tower/lobby on the south elevation. To meet the 15 percent of the roof area requirement the applicant is proposing a flat roof over the multipurpose room with parapets to create the illusion of a complete roof structure. Altogether the section of the roof exceeding the height limit is at 14.5 percent of the roof area.

Off-Street Parking Regulations – 17.110

Parking. The Off-Street Parking Regulations establishes that nonresidential uses in the CD district are required to provide one (1) parking space per 500 sf net floor area. The project is proposing a net increase 2,572 sf, or 5 parking spaces. However, the building has a significant surplus of parking, as when they originally built the building, they paid for and were allocated 94 parking space in the Downtown Parking Assessment District. Overall, the building has a surplus of 70 spaces.

If this were new structure being proposed the project would be required to provide two (2) bicycle racks that will provide four (4) bicycle parking spaces.

Sign Regulations – 17.120

No signage has been officially proposed as part of this application. Any new signs that will identify the use(s) of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.

Please note that the applicant has provided preliminary signage details that have been provided as a reference document.

Public Art – 17.310

Should the project have a construction valuation that exceeds \$500,000 the project is required to include artwork to satisfy the City's public art requirement. This requirement specifies that an applicant must either pay an in-lieu fee equal to 1% of the construction valuation which the City will then use for general public art projects or provide an on-site artwork that is reviewed and approved by the Public Arts Committee.

The project does not have a construction valuation currently. A condition of approval has been added stating that the if the construction valuation exceeds \$500,000 they are required to comply with the Public Art Ordinance, either by payment of an in-lieu fee, or by obtaining City approval for an on-site art work prior to issuance of a building permit.

Staff has inquired about the inclusion of Public Art and the Applicant indicated that they are intending to add Public Art to the site but are currently working on this and would most likely return to the Board as a deferred submittal.

Public Comment:

The Planning Department has not received any comments from the public as of writing the staff report.

City Departmental Comment:

The Planning Department recirculated the application to the following City departments for review: Building and Safety, City Manager/City Attorney, Engineering, Fire, and Public Works. The Planning Department has received the following comments, which have been included in the Conditions of Approval:

Building and Safety:

- For the building permit submittal, 5 sets of plans are required along with 2 sets of calculations and reports.
- Authorized Construction Hours:
 - Monday through Friday – 7:00 a.m. to 6:00 p.m.
 - Saturday and Sunday– 8:00 a.m. to 5:00 p.m.
 - Includes warm-up or servicing of equipment and any preparation for construction.
- The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
- A geotechnical report is required for this project.
- The project is required to comply with CalGreen at the Tier I level excluding Division A4.2 *Energy Efficiency*, as adopted and amended by the City. The worksheets can be located on the City’s website on the building department page. The worksheets are to be printed on plan sheets in the plan set.
- Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
- Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
- Before approval of the foundation inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
- Before approval of the framing inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

Engineering:

- The developer shall submit a site plan prepared by an architect or an engineer, showing all existing and proposed utilities. Submittals shall be made to the Public Works Department at 714 Johnson St, Sebastopol.
- All work shall be in accordance with the City of Sebastopol Standard Plans and Specifications.
- An encroachment permit from the City of Sebastopol shall be obtained for any work in the public right of way.

- The developer shall install an above-grade reduced pressure backflow prevention device on the existing domestic water service. The backflow device shall be screened with an architectural screen.
- The developer shall install a double check detector check backflow prevention device on the existing fire service. The backflow device shall be screened with an architectural screen.
- The developer shall inspect the existing sewer line with a TV inspection service. Video of the inspection shall be submitted to the Public Works Department. Any repairs required shall be completed prior to occupancy of the new use.
- The developer shall install a two-way sewer cleanout on the sewer lateral. The cleanout shall be located in the sidewalk area.
- The developer shall obtain an Industrial Waste Discharge permit from the City of Santa Rosa Industrial Waste Department.

Public Works:

- Any work within the City easement will require an encroachment permit.
- Current backflow certificates are required for domestic, irrigation and fire.
- Backflow services shall be upgraded to reduce pressure services.
- The applicant shall video-inspect the existing sewer lateral and report to Public Works on condition of sewer lateral. If necessary, a sewer cleanout shall be installed at the property line on the existing lateral.
- Stormwater protection shall be in place during construction.

Fire:

- The project shall use the 2019 California Fire Codes.
- An automatic fire sprinkler suppression system is required.
- An Ansul R-102 restaurant fire suppression system is required, if applicable.
- The Building shall be fully monitored, including:
 1. Fire alarm control panel (FACP)
 2. Smoke and Heat Detection
 3. Horns and strobes notification
 4. Rapid entry suprasafe system (knox box)
 5. 247/365 monitoring by alarm company
 6. Emergency Vehicle access, if required
 7. Hammerhead turnarounds, if required
 8. Additional new fire hydrants, if required.

Required Findings:

Design Review: Section 17.450.030(B) of the Zoning Ordinance states the following: "In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether: 1) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol; 2) The design provides appropriate transitions and relationships to adjacent properties and the public right of way; 3) It would not impair the desirability of investment or occupation in the neighborhood; 4) The design is internally consistent and harmonious; and 5) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter."

Analysis:

Staff believes that this project has significantly improved from the previous iteration and that it is a high-quality project, which complies with the General Plan, Zoning Ordinance, the Sebastopol Downtown Plan and Design Review Guidelines, as demonstrated in this report.

The applicant has addressed many of the Board’s concerns from the May 6, 2020 meeting and items from the Design Review Guidelines by: 1) transforming the building through the use of new materials, adding a third level a significant roof feature, increasing the height along the frontage, utilizing arches along the windows and entries; 2) by utilizing the brick cladding, the increased height above the entries, and the new roof form the building creates a strong presence and draws the eye up; 3) by increasing the height above the entries and utilizing the brick archways above them it helps define the entries; 4) the project incorporates the elevator tower into the building, making for a more cohesive overall design; 5) the use of brick cladding helps the building stand out, as opposed to the previous proposal’s dark color; and 6) the palette has been simplified and the use of reclaimed wood has been dropped from the proposal, resulting in a simplified, but more elegant design that ties into the past of this site and the region’s agricultural history.

Lastly, staff believes that the project’s height increase is supportable, as the height increase is necessary for the purpose of the high-quality design for the ‘floating roof’ to accommodate the elevator tower. The applicant has demonstrated on Sheet A6.2 that the elevator requires a minimum clearance of 13’-8” and that the clearance between the elevator and the rafters are less than 3”. Additionally, the applicant has designed the height increases to not exceed 15 percent of the roof area.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report and Exhibits A and B, which any modifications the Board feels are appropriate, and if there is a consensus that the design of the project is appropriate.

Alternatively, the Board may find that revisions are necessary, and may a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Exhibits:

- A. Recommended Findings of Approval
- B. Recommended Conditions of Approval

Attachments:

- 1. Application Materials
- 2. Project Plans (13x22)
 - a. Preliminary landscape, signage, and lighting plans (11x17)

Prior Report and Plans can be reviewed at:
<https://tinyurl.com/burnettplan>