

City Council  
Mayor Patrick Slayter  
Vice Mayor Una Glass  
Michael Carnacchi  
Sarah Glade Gurney  
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Planning Director  
Kari Svanstrom  
Associate Planner  
Alan Montes  
Senior Administrative Assistant  
Rebecca Mansour

## City of Sebastopol Design Review Board Staff Report

Meeting Date: November 18, 2020  
Agenda Item: 7A  
To: Design Review Board  
From: Alan Montes, Associate Planner  
Subject: Design Review – Continued from May 6, 2020  
Recommendation: Approval with Conditions  
Applicant/Owner: The Beale Group  
File Number: 2020-010  
Address: 6950 Burnett Street  
CEQA Status: Categorical Exemption: Section 15301: Class 1  
General Plan: Central Core (CC)  
Zoning: Downtown Commercial (CD)

### Introduction:

This is a Design Review application, requesting approval to modify the existing building at 6950 Burnett Street, located at the northeast corner of the Burnett Street and South Main Street intersection. Several of the previous tenants include Round Table Pizza, Sonoma West Times, and Greenfield Learning Inc.

This item was previously reviewed by the Board on May 6, 2020 and was continued to a date uncertain. Staff has summarized the constructive comments made at the meeting below:

- The proposal is dressing up the building, aside from the addition of the tower and the rooftop structures.
- The building should be completely transformed.
- This building needs a much stronger presence on the corner of Burnett Street and South Main Street.
- The corners should be bolder.
- The corner should rise to the second story by catching the eye with volume instead of a light and airy trellis.
- The addition of the tower seems overwhelming to the rest of the building.
- The dark color that is proposed is making the building recede more than stand out, which is the opposite of what the building needs.
- The building does not have a lot of detail and scale.
- The best architectural precedent in the County are the agricultural buildings.
- The materials and color may be overwhelming.
- The variety in reclaimed wood could be too much. Reclaimed wood is more of an accent feature.
- The alley feels like a back entrance.
- More details on the rollup doors are needed.



Present Condition



May 6, 2020 Proposal (Prior)



November 18, 2020 Proposal (current)

**Project Description:**

The applicant has revised the design by choosing a new material palette and significantly modifying the design to tie this building in with the agricultural history of the area, as well as modernizing the building. The current design utilizes a thin brick cladding on the front façade, on the second level the building would have smooth stucco in a shade of dark gray and horizontal cedar siding with a clear stain. The cedar will continue to the third floor where the applicant has added an enclosed multipurpose space, in addition to the rooftop deck, seen in the previous iteration.

The first level is proposed to be a food hall and marketplace with indoor/outdoor seating including a new covered porch. Most of the space will be common area for customers use. The second level will primarily be used for back of house purposes including shared offices, storage, along with a potential shared prep/presentation kitchen. The applicant is also intending on having beverage services that will provide access to the full menus of the kitchens below. Customers will also have access to three existing balconies with partial covering. Third level will be providing access to indoor and outdoor spaces, that will have beverage services with access to all the kitchens below. This space is designed to accommodate live entertainment and special events, which will require further review/approval by the Planning Commission for live music.

The applicant has provided preliminary signage, landscaping, and lighting plans for reference purposes only at this time. The applicant intends on submitting final versions of these plans as deferred submittals that will be reviewed by the Design Review Board at a later time.

**Environmental Review:**

The project is categorically exempt from the requirements of CEQA, pursuant to Section 15301, Class 1, which exempts exterior alterations involving negligible or no expansion of existing use, as the project is an existing building, the addition is less than 10,000 sf, is proposing cosmetic exterior improvements, the site is located in an area that is served by all utilities and is not an environmentally sensitive site.

**General Plan Consistency:**

The General Plan Land Use Designation for the site is Central Core. The General Plan states that the Central Core “designation applies to portions of Sebastopol's Downtown and nearby areas. The Central Core designation allows office, commercial, and retail uses, as well as mixed-use residential developments. Projects shall achieve a minimum FAR of 1.0, and the maximum FAR shall not exceed 2.5 (not including the residential use) [for new uses]. This designation is intended to implement the Downtown Plan and enhance the vitality and character of Sebastopol's historic commercial area. Housing is encouraged on upper stories”. The project is consistent with the intention of the Central Core designation in that the project will enhance the existing façade, add amenities, and add several new retail spaces, including restaurants, to the Downtown.

The project is also consistent with the following General Plan Policies:

*Community Design Policy CD 1-13: Encourage the enhancement and beautification of all areas of the community.*

The project will renovate the façade and interior of the building resulting in an enhanced and beautified design, as the project will take the existing dated building and enhance it by adding a modern but rustic brick cladding, cedar siding, smooth grey stucco, metal windows

and doors, resulting in a modern, but historic aesthetic. The project will also enhance the community by adding new retail spaces and amenities to the town, including a patio space on the ground floor, a roof deck, and elevator to provide access to the upper floors.

*Economic Vitality Policy EV 3-3: Continue to implement the Sebastopol Downtown Plan, including standards for land use, public spaces, traffic circulation, and building design, which affirm the unique character of Downtown and emphasize the Downtown as a central gathering place.*

The project is consistent with this policy as it will: 1) expand restaurants and retail opportunities on Burnett St.; 2) rehabilitate and existing building by redesigning the entire building with an improved design; and 3) preserve community history by preserving the mural in the alley and by tying the new design in with the history of the site by incorporating elements of the previous building on this site.

*Economic Vitality Policy EV 4-4: Encourage the development of civic amenities, entertainment venues, retail and restaurants, and services that increase visitation, spending, and tourism.*

The project will create new spaces for retail and restaurant uses, as well as creating a unique rooftop deck, which will generate new spending and tourism opportunities, as well as visitation and gathering in downtown by local residents.

*Economic Vitality Policy EV 5-2: Encourage the rehabilitation and retrofit of existing commercial, office, and industrial buildings to meet current market needs and code requirements.*

The project is proposing to retrofit an existing office/commercial building and converting it to retail and restaurant space, as well as bringing the building up to current code, such as the addition of an elevator.

**Sebastopol Downtown Plan Consistency:**

The Sebastopol Downtown Plan (SDP) purpose is to make the Downtown economically strong, provide space and facilities for community and cultural activity, and to beautify the Downtown environment.

Staff has reviewed the Downtown Plan and has identified the following applicable items from the SDP:

- 1) Expand retail to include restaurants, specialty shops and entertainment.
- 2) Burnett St. to be retail oriented.
- 3) Provide alternatives to automobile travel.
- 4) That architecture be of high quality.
- 5) Rehabilitation of existing buildings.
- 6) Preserve Community History.

Staff considers that this project is consistent with items 1, 2, 3, 4, 5, and 6. The project is consistent with Items 1 and 2 in that the project is providing a marketplace (retail/restaurant) type uses and is located on Burnett Street. The project is consistent with Item 3 in that 6 bicycle parking spaces are being added to the site; additionally, the site is located near Sonoma County Transit lines that run through downtown. Staff finds the project is consistent with Items 4 and 5,

in that the project will rehabilitate an existing building and improve the façade with a high-quality design that will be a significant improvement over the existing façade. Lastly, the project is consistent with Item 6, in that the applicant is proposing to preserve the painted mural sign inside the building's alley. The sign is not in the City's Historic Resources Inventory but is part of the community's character.

**Zoning Ordinance Consistency:**

The site is in the Downtown Core (CD) Zoning District. "The CD District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This district provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City's central downtown area."

Staff believes that the proposed project is consistent with the purpose of the CD Zoning District in that this project will be taking an existing commercial building and repurposing it as a marketplace and food hall, with new amenities including a covered patio, a rooftop deck and an accessible elevator which will increase the vibrancy in the area and will be an overall benefit to the Downtown.

**Use – 17.25.020.**

This is a Design Review application; however, staff wants to note that the proposed uses retail, office, and restaurants are permitted uses under the Sebastopol Municipal Code (SMC) Section 17.25.020. Any uses that are proposed that require a Use Permit in the future, such as live music events, will need to apply and be reviewed separately.

**Development Standards 17.25.030.**

Setbacks. The CD district does not have required front, side, or rear setbacks, unless the subject site is abutting a residential district. This property is not abutting a residential district and is compliant with the setback requirements.

Height. The height limit for a nonresidential building in the CD district is 40', 3-stories. The project proposes a maximum height of 46', which does exceed the height limit. However, SMC Section 17.100.020 allows for several exceptions to the height limit, which are discussed below.

**General Provisions Relating to Height 17.100.020**

*17.100.020(A)(2) - Cornices and parapets may be permitted up to three and one-half feet in excess of applicable height limits.*

The project is utilizing parapets around the mechanical equipment located above the alley/stairs. These parapets are approximately 41.5' above grade and are within the allowed height limit for parapets.

*17.100.020(B)(1) - In nonresidential districts, cupolas, steeples, gas storage holders, radio and other towers, water tanks, mechanical equipment, elevator towers, nontower wind turbines, and screening for such features may be permitted up to five feet in excess of applicable height limits, provided the area of such elements does not exceed 15 percent of roof area. Mechanical equipment shall be screened from view. The Design Review Board may approve features up to 10 feet in excess of applicable height limits, if it finds the feature necessary for compelling practical reasons, or if it would significantly enhance building aesthetics.*

The project is proposing to exceed the allowed 5' height increase specified above. However, the Board may allow an increase of up to 10' for cupolas, steeples, gas storage holders, radio and other towers, water tanks, mechanical equipment, elevator towers, nontower wind turbines, as long as the element does not exceed 15 percent of the roof area and the Board finds that the feature is necessary for compelling practical reasons, or if it would significantly enhance building aesthetics.

The applicant is proposing to exceed the height limit by approximately 6', to accommodate the elevator tower and to screen it in a way where it is part of the building. The applicant is proposing to create a "floating" roof on the third floor that starts along the north end of the multipurpose area on the third floor and then extending over the elevator tower/lobby on the south elevation. To meet the 15 percent of the roof area requirement the applicant is proposing a flat roof over the multipurpose room with parapets to create the illusion of a complete roof structure. Altogether the section of the roof exceeding the height limit is at 14.5 percent of the roof area.

#### Off-Street Parking Regulations – 17.110

Parking. The Off-Street Parking Regulations establishes that nonresidential uses in the CD district are required to provide one (1) parking space per 500 sf net floor area. The project is proposing a net increase 2,572 sf, or 5 parking spaces. However, the building has a significant surplus of parking, as when they originally built the building, they paid for and were allocated 94 parking space in the Downtown Parking Assessment District. Overall, the building has a surplus of 70 spaces.

If this were new structure being proposed the project would be required to provide two (2) bicycle racks that will provide four (4) bicycle parking spaces.

#### Sign Regulations – 17.120

No signage has been officially proposed as part of this application. Any new signs that will identify the use(s) of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.

Please note that the applicant has provided preliminary signage details that have been provided as a reference document.

#### Public Art – 17.310

Should the project have a construction valuation that exceeds \$500,000 the project is required to include artwork to satisfy the City's public art requirement. This requirement specifies that an applicant must either pay an in-lieu fee equal to 1% of the construction valuation which the City will then use for general public art projects or provide an on-site artwork that is reviewed and approved by the Public Arts Committee.

The project does not have a construction valuation currently. A condition of approval has been added stating that the if the construction valuation exceeds \$500,000 they are required to comply with the Public Art Ordinance, either by payment of an in-lieu fee, or by obtaining City approval for an on-site art work prior to issuance of a building permit.

Staff has inquired about the inclusion of Public Art and the Applicant indicated that they are intending to add Public Art to the site but are currently working on this and would most likely return to the Board as a deferred submittal.

**Public Comment:**

The Planning Department has not received any comments from the public as of writing the staff report.

**City Departmental Comment:**

The Planning Department recirculated the application to the following City departments for review: Building and Safety, City Manager/City Attorney, Engineering, Fire, and Public Works. The Planning Department has received the following comments, which have been included in the Conditions of Approval:

***Building and Safety:***

- For the building permit submittal, 5 sets of plans are required along with 2 sets of calculations and reports.
- Authorized Construction Hours:
  - Monday through Friday – 7:00 a.m. to 6:00 p.m.
  - Saturday and Sunday– 8:00 a.m. to 5:00 p.m.
  - Includes warm-up or servicing of equipment and any preparation for construction.
- The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
- A geotechnical report is required for this project.
- The project is required to comply with CalGreen at the Tier I level excluding Division A4.2 *Energy Efficiency*, as adopted and amended by the City. The worksheets can be located on the City's website on the building department page. The worksheets are to be printed on plan sheets in the plan set.
- Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
- Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
- Before approval of the foundation inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
- Before approval of the framing inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

***Engineering:***

- The developer shall submit a site plan prepared by an architect or an engineer, showing all existing and proposed utilities. Submittals shall be made to the Public Works Department at 714 Johnson St, Sebastopol.
- All work shall be in accordance with the City of Sebastopol Standard Plans and Specifications.
- An encroachment permit from the City of Sebastopol shall be obtained for any work in the public right of way.

- The developer shall install an above-grade reduced pressure backflow prevention device on the existing domestic water service. The backflow device shall be screened with an architectural screen.
- The developer shall install a double check detector check backflow prevention device on the existing fire service. The backflow device shall be screened with an architectural screen.
- The developer shall inspect the existing sewer line with a TV inspection service. Video of the inspection shall be submitted to the Public Works Department. Any repairs required shall be completed prior to occupancy of the new use.
- The developer shall install a two-way sewer cleanout on the sewer lateral. The cleanout shall be located in the sidewalk area.
- The developer shall obtain an Industrial Waste Discharge permit from the City of Santa Rosa Industrial Waste Department.

*Public Works:*

- Any work within the City easement will require an encroachment permit.
- Current backflow certificates are required for domestic, irrigation and fire.
- Backflow services shall be upgraded to reduce pressure services.
- The applicant shall video-inspect the existing sewer lateral and report to Public Works on condition of sewer lateral. If necessary, a sewer cleanout shall be installed at the property line on the existing lateral.
- Stormwater protection shall be in place during construction.

*Fire:*

- The project shall use the 2019 California Fire Codes.
- An automatic fire sprinkler suppression system is required.
- An Ansul R-102 restaurant fire suppression system is required, if applicable.
- The Building shall be fully monitored, including:
  1. Fire alarm control panel (FACP)
  2. Smoke and Heat Detection
  3. Horns and strobes notification
  4. Rapid entry suprasafe system (knox box)
  5. 247/365 monitory by alarm company
  6. Emergency Vehicle access, if required
  7. Hammerhead turnarounds, if required
  8. Additional new fire hydrants, if required.

**Required Findings:**

Design Review: Section 17.450.030(B) of the Zoning Ordinance states the following: "In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether: 1) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol; 2) The design provides appropriate transitions and relationships to adjacent properties and the public right of way; 3) It would not impair the desirability of investment or occupation in the neighborhood; 4) The design is internally consistent and harmonious; and 5) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter."

**Analysis:**

Staff believes that this project has significantly improved from the previous iteration and that it is a high-quality project, which complies with the General Plan, Zoning Ordinance, the Sebastopol Downtown Plan and Design Review Guidelines, as demonstrated in this report.

The applicant has addressed many of the Board's concerns from the May 6, 2020 meeting and items from the Design Review Guidelines by: 1) transforming the building through the use of new materials, adding a third level a significant roof feature, increasing the height along the frontage, utilizing arches along the windows and entries; 2) by utilizing the brick cladding, the increased height above the entries, and the new roof form the building creates a strong presence and draws the eye up; 3) by increasing the height above the entries and utilizing the brick archways above them it helps define the entries; 4) the project incorporates the elevator tower into the building, making for a more cohesive overall design; 5) the use of brick cladding helps the building stand out, as opposed to the previous proposal's dark color; and 6) the palette has been simplified and the use of reclaimed wood has been dropped from the proposal, resulting in a simplified, but more elegant design that ties into the past of this site and the region's agricultural history.

Lastly, staff believes that the project's height increase is supportable, as the height increase is necessary for the purpose of the high-quality design for the 'floating roof' to accommodate the elevator tower. The applicant has demonstrated on Sheet A6.2 that the elevator requires a minimum clearance of 13'-8" and that the clearance between the elevator and the rafters are less than 3". Additionally, the applicant has designed the height increases to not exceed 15 percent of the roof area.

**Recommendation:**

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report and Exhibits A and B, which any modifications the Board feels are appropriate, and if there is a consensus that the design of the project is appropriate.

Alternatively, the Board may find that revisions are necessary, and may a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

**Exhibits:**

- A. Recommended Findings of Approval
- B. Recommended Conditions of Approval

**Attachments:**

- 1. Application Materials
- 2. Project Plans (13x22)
  - a. Preliminary landscape, signage, and lighting plans (11x17)

Prior Report and Plans can be reviewed at:  
<https://tinyurl.com/burnettplan>

**Exhibit A**  
**DESIGN REVIEW PERMIT: 2020-010**  
**6950 Burnett Street**

**Recommended Findings for Approval:**

1. That the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination, in that the project is an existing building, the addition is less than 3,000 sf, is proposing cosmetic exterior improvements, the site is located in an area that is served by all utilities and is not in an environmentally sensitive site.
2. That the design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol as it has been reviewed by the Design Review Board and found to be compatible with the neighborhood and general visual character of Sebastopol.
3. That the design provides appropriate transitions and relationships to adjacent properties and the public right of way in the modifications are working within the existing footprint, complies with the height regulations and provides an appropriate transition between floors.
4. That the project will not impair the desirability of investment or occupation in the neighborhood in that the façade improvements will enhance an existing building and has been reviewed by the Design Review Board and City Staff to ensure a high-quality project.
5. That the design is internally consistent and harmonious in that the project is updating the entire façade with a harmonious design that utilizes the same windows, awnings, and complementing color/material themes.
6. That the design is in conformity with the Zoning Ordinance regulation, including use, development standards (including height), and parking. The height exception is appropriate as it is for the purpose of concealing the elevator tower through a high quality design and the area that exceeds the height limit is less than 15% of the roof area.
7. That the design is in conformity with adopted Design Guidelines in that; 1) the project is using complementing materials and colors to create a harmonious design throughout the entire structure; 2) the project uses different patterns and materials to create breaks in the face and soften the facade; 3) that the project has integrated the elevator tower into the design; 4) the ground floor will create an enhanced pedestrian experience by creating a ground floor patio with operable windows, including roll-up windows; and 5) the trash enclosure will be screened from public view.

**Exhibit B**  
**DESIGN REVIEW PERMIT: 2020-010**  
**6950 Burnett Street**

**Recommended Conditions of Approval:**

General and Ongoing

1. Approval is granted for the Design Review submittal described in the application and plans date-stamped November 10, 2020. This approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.250.050 of the Zoning Ordinance.
2. All construction shall conform to the plans date-stamped November 10, 2020, unless the design is modified herein. The applicant must obtain a Building Permit prior to the commencement of construction activities.
3. All rooftop mechanical equipment shall be screened to the satisfaction of the Planning Director. Such screening shall be included in the Building Permit submittal.
4. This approval does not include approval for the sale of alcoholic beverages, which requires separate approvals. No use permits that may be required are part of this approval.
5. Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
6. The exterior lighting proposal shall be reviewed and approved by the Design Review Board.
7. The site landscaping shall be reviewed and approved by the Design Review Board.
8. The painted mural sign, located in the alley, shall be preserved.
9. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
10. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.
11. No sound may emanate from the building which violates the Noise Ordinance or causes an undue disturbance to site neighbors.

#### Development Conditions

12. Compliance with the Public Art Ordinance shall be demonstrated prior to issuance of a Building Permit, either by payment of an in-lieu fee, or by obtaining City approval for an on-site artwork. If on-site art is proposed, applicant is advised to initiate a Public Arts Committee meeting of such proposal well in advance of applying for a Building Permit.
13. A boundary survey or other verification approved by the Planning Department is required to be submitted as part of the building permit application.
14. For the building permit submittal, 5 sets of plans are required along with 2 sets of calculations and reports.
15. Authorized Construction Hours:
  - a. Monday through Friday – 7:00 a.m. to 6:00 p.m.
  - b. Saturday and Sunday– 8:00 a.m. to 5:00 p.m.
  - c. Includes warm-up or servicing of equipment and any preparation for construction.
16. The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
17. A geotechnical report is required for this project.
18. The project is required to comply with CalGreen at the Tier I level excluding Division A4.2 Energy Efficiency, as adopted and amended by the City. The worksheets can be located on the City's website on the building department page. The worksheets are to be printed on plan sheets in the plan set.
19. Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
20. Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
21. Before approval of the foundation inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
22. Before approval of the framing inspection: The project Structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

23. The project shall use the 2019 California Fire Codes.
24. An automatic fire sprinkler suppression system is required.
25. An Ansul R-102 restaurant fire suppression system is required, if applicable.
26. The Building shall be fully monitored, including:
  - a. Fire alarm control panel (FACP)
  - b. Smoke and Heat Detection
  - c. Horns and strobes notification
  - d. Rapid entry suprasafe system (knox box)
  - e. 24/7/365 monitoring by alarm company
  - f. Emergency Vehicle access, if required
  - g. Hammerhead turnarounds, if required
  - h. Additional new fire hydrants, if required.
27. Stormwater protection shall be in place during construction.
28. Current backflow certificates are required for domestic, irrigation and fire.
29. Backflow services shall be upgraded to reduce pressure services.
30. Any work within the City easement will require an encroachment permit.
31. The applicant shall video-inspect the existing sewer lateral and report to Public Works on condition of sewer lateral. If necessary, a sewer cleanout shall be installed at the property line on the existing lateral.
32. The developer shall submit a site plan prepared by an architect or an engineer, showing all existing and proposed utilities. Submittals shall be made to the Public Works Department at 714 Johnson St, Sebastopol.
33. All work shall be in accordance with the City of Sebastopol Standard Plans and Specifications.
34. An encroachment permit from the City of Sebastopol shall be obtained for any work in the public right of way.
35. The developer shall install an above-grade reduced pressure backflow prevention device on the existing domestic water service. The backflow device shall be screened with an architectural screen.
36. The developer shall install a double check detector check backflow prevention device on the existing fire service. The backflow device shall be screened with an architectural screen.

37. The developer shall inspect the existing sewer line with a TV inspection service. Video of the inspection shall be submitted to the Public Works Department. Any repairs required shall be completed prior to occupancy of the new use.
38. The developer shall install a two-way sewer cleanout on the sewer lateral. The cleanout shall be located in the sidewalk area.
39. The developer shall obtain an Industrial Waste Discharge permit from the City of Santa Rosa Industrial Waste Department.



## City of Sebastopol

Planning Department  
7120 Bodega Avenue  
Sebastopol, CA 95472  
(707) 823-6167 (Phone) or (707) 823-1135 (Fax)  
[www.ci.sebastopol.ca.us](http://www.ci.sebastopol.ca.us)

### MASTER PLANNING APPLICATION FORM

#### PROJECT INFORMATION:

ADDRESS:	6950 Burnett St, SEBASTOPOL
PARCEL #:	004-054-020
PARCEL AREA:	.21 ACRES

#### FOR CITY USE ONLY

PLANNING FILE #:	2020 / 010
DATE FILED:	01-23-20
TOTAL FEES PAID: \$	1,405-
RECEIVED BY:	
DATE APPLICATION DEEMED COMPLETE:	

#### APPLICANT OR AGENT:

Name: THE BEALE Group  
Email Address: info@thebealegroup  
Mailing Address: 555 S. Main  
City/State/Zip: SEBASTOPOL, CA 95472  
Phone: 707. 827. 9600  
Fax: \_\_\_\_\_  
Business License #: 1874  
Signature:   
Date: 1-21-20

#### OWNER OF PROPERTY

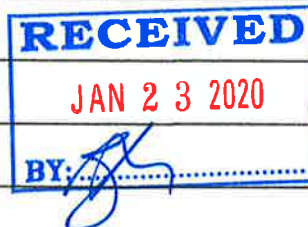
##### IF OTHER THAN APPLICANT:

Name: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Business License #: \_\_\_\_\_  
Signature: \_\_\_\_\_  
I certify that this application is being made with my consent.  
Date: \_\_\_\_\_

#### OTHER PERSONS TO BE NOTIFIED: (Include Agents, Architects, Engineers, etc.).

Name: Grace Meeks  
Email Address: grace@buildersstudioinc.com  
Mailing Address: 555 S. Main  
City/State/Zip: SEBASTOPOL, CA 95472  
Phone: 707. 827. 9616  
Fax: \_\_\_\_\_

Name: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_



## PROJECT DESCRIPTION:

DESCRIBE IN DETAIL, the proposed project and permit request. (Attach additional pages, if needed):

SEE ATTACHED DOCUMENT

This application includes the checklist for the type of application requested:

☐ Yes

☐ No

Please indicate the type(s) of application that is being requested (example: Use Permit, Design Review, Variance, Planned Community Rezone, etc.):

USE Permit, Design Review, Variance for HEIGHT of Bldg

Please describe existing uses (businesses, residences, etc.) and other structures on the property:

Retail, offices, Restaurant

## DEVELOPMENT DATA:

\* Repurposed to non-conditioned space

SQUARE FEET BUILDING EXISTING:	10,795 SF	<input type="checkbox"/> N/A
SQUARE FEET BUILDING DEMOLISHED*	450 SF *	<input type="checkbox"/> N/A
SQUARE FEET BUILDING NEW:		<input type="checkbox"/> N/A
NET CHANGE IN BUILDING SQUARE FEET:		<input type="checkbox"/> N/A
NUMBER OF DWELLING UNITS EXISTING:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NUMBER OF DWELLING UNITS PROPOSED:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NET CHANGE IN DWELLING UNITS:		<input checked="" type="checkbox"/> N/A
SETBACKS:	<b>Existing:</b> <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input checked="" type="checkbox"/> N/A	<b>Proposed:</b> <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input checked="" type="checkbox"/> N/A

EXISTING LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input checked="" type="checkbox"/> N / A
PROPOSED LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input checked="" type="checkbox"/> N / A
EXISTING LOT AREA:	_____ Square Feet		<input checked="" type="checkbox"/> N / A
PROPOSED LOT AREA:	_____ Square Feet		<input checked="" type="checkbox"/> N / A
BUILDING HEIGHT:	Existing: <u>30'-1"</u>	Proposed: <u>43'-6"</u>	<input type="checkbox"/> N / A
NUMBER OF STORIES:	Existing: <u>2</u>	Proposed: <u>3 - 3rd level is Public Deck</u>	<input type="checkbox"/> N / A
PARKING SPACE (S):	Existing: _____	Proposed: _____	<input checked="" type="checkbox"/> N / A
ZONING	Existing: _____	Proposed: _____	<input checked="" type="checkbox"/> N / A

Public Deck  
non-curb cut  
space.

Will the project involve a new curb cut or driveway?

☐ Yes

☒ No

Are there existing easements on the property?

☐ Yes

☒ No

Will Trees be removed?

☐ Yes

☒ No

If yes, please describe (Example: Type, Size, Location on property, etc.)


Will Existing Landscaping be revised?

☒ Yes

☐ No

If yes, what is square footage of new or revised landscaping?


Will Signs be Changed or Added?

☒ Yes

☐ No

Business: Hours of Operation? Open: 7:00 AM Close: 9:00 PM

Is alcohol service proposed?

☒ Yes

☐ No

If yes, what type of State alcohol license is proposed? type 47

If yes, have you applied to the State Alcoholic Beverage Control for a license?

☐ Yes

☒ No

If this is a restaurant, café or other food service, bar, or nightclub, please indicate total number of seats:

1st LEVEL 165  
2ND LEVEL TBD  
3RD LEVEL 85

Is any live entertainment proposed?

☒ Yes

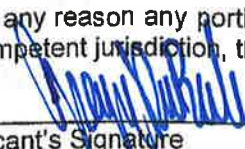
☐ No

If yes, please describe: non-applified - occasional

# INDEMNIFICATION AGREEMENT

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

  
Applicant's Signature

1-4-20  
Date Signed


2020-010  
Planning File Number

**NOTE:** The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

## NOTICE OF MAILING:

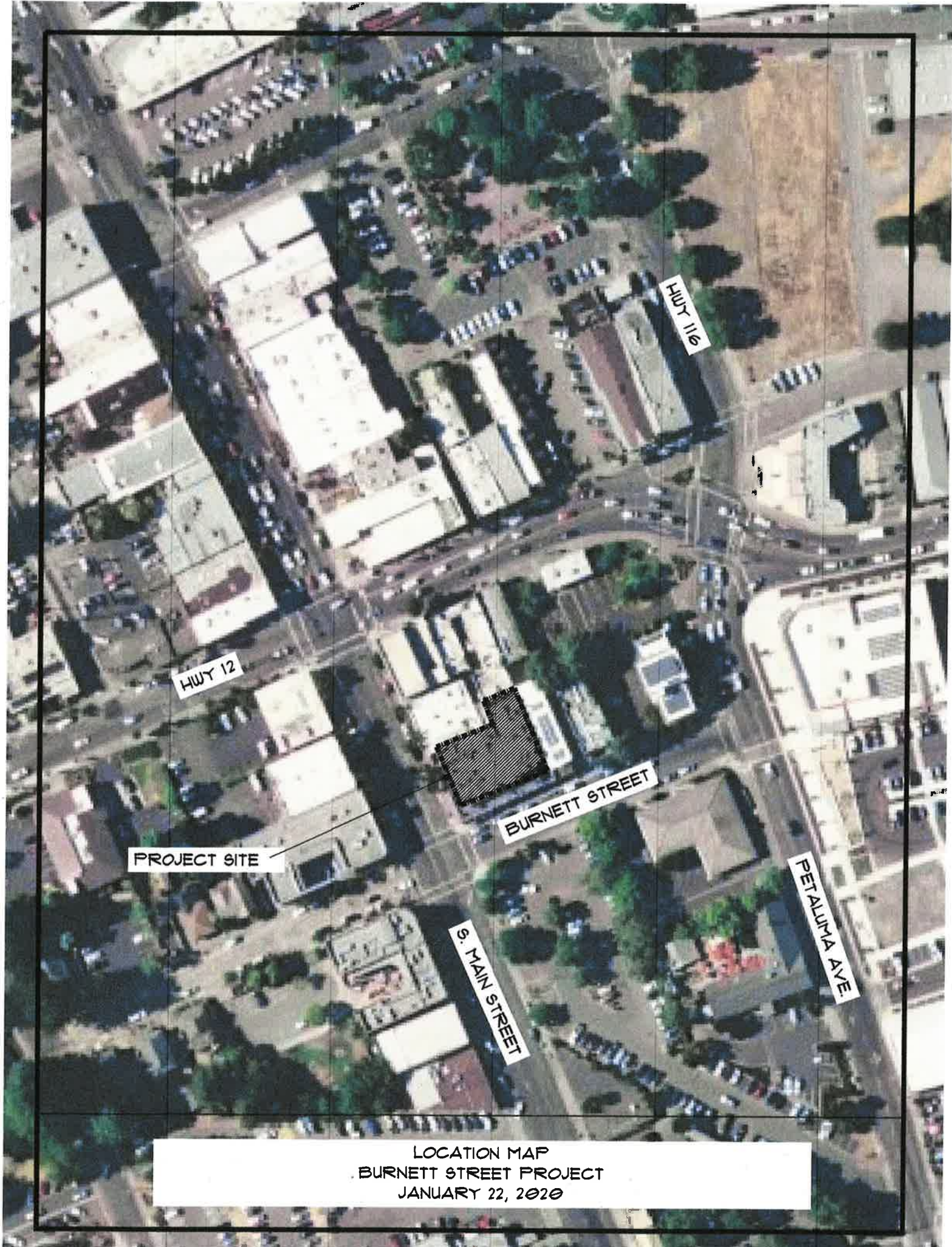
Email addresses or facsimiles will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.

**Please sign and acknowledge you have been notified of the Notice of Mailing for applications and have provided an email address or fax number.**

  
Signature

  
Printed Name

**NOTE:** It is the responsibility of the applicant and their representative to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however the applicant has responsibility for determining and following applicable regulations.



LOCATION MAP  
BURNETT STREET PROJECT  
JANUARY 22, 2020



# Builders' Studio

OF SEBASTOPOL

Project Description / Written Statement  
January 22, 2020

## **Our mission and vision for this property and our community:**

### **The Project:**

Exterior shell and infrastructure- Stair and elevator tower for convenience, requirements, and aesthetic appeal. Finishes will be updated to a more simplified, modern, and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal character with a combination of warmer woods, deep and smooth stucco color and finish, and metal windows and doors.

- First level: Food hall and marketplace with private gathering room and new covered porch. Majority common area for all customers to use and enjoy, including shared unisex bathrooms and scullery. Small kitchens with a balance of food options for every craving and budget.
- Second level: Currently proposed to be traditional standalone tenant spaces, including three existing outdoor balcony spaces. One to three destination restaurants and/or retail.
- Third level: Rooftop, outdoor patio. Beverage services and access/menu for all restaurants located at lower levels. Family-friendly. A social hub for communities of all ages. Fresh air, food, drink, and attitude. Thoughtful and durable design while maintaining a relaxed and comfortable atmosphere.

## PLANNING FEES – FY 2018/19

CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Adjustment	Fee	\$445.00	\$170.00	\$615.00
<input type="checkbox"/>	Administrative Permit Review – Minor	Fee	\$140.00	\$15.00	\$155.00
<input type="checkbox"/>	Administrative Permit Review	Fee	\$360.00	\$15.00	\$375.00
<input type="checkbox"/>	Administrative Time Extension	Fee	\$185.00	\$15.00	\$200.00
<input type="checkbox"/>	Annexation Request – Preliminary	Deposit	\$3,390.00	\$15.00	\$3,405.00
<input type="checkbox"/>	Annexation/Pre-zone Request	Deposit	\$6,615.00	\$215.00	\$6,830.00
<input type="checkbox"/>	Antenna Permit – Administrative	Fee	\$740.00	\$170.00	\$910.00
<input type="checkbox"/>	Appeal of Board, Commission or Staff Decisions	Fee	\$400.00	\$215.00	\$615.00
<input type="checkbox"/>	Building Permit Review Fee – Major	Fee	\$260.00	N/A	\$260.00
<input type="checkbox"/>	Building Permit Review Fee – Minor	Fee	\$100.00	N/A	\$100.00
<input type="checkbox"/>	Business License Application Review	Fee	\$35.00	N/A	\$35.00
<input type="checkbox"/>	Certificate of Compliance	Deposit	\$1,905.00	\$15.00	\$1,920.00
<input type="checkbox"/>	Design Review – Administrative	Fee	\$205.00	\$15.00	\$220.00
<input type="checkbox"/>	Design Review – Major Project	Deposit	\$1,370.00	\$35.00	\$1,405.00
<input type="checkbox"/>	Design Review – Minor Amendment	Fee	\$235.00	\$15.00	\$250.00
<input type="checkbox"/>	Design Review – Minor Project	Fee	\$350.00	\$15.00	\$365.00
<input type="checkbox"/>	Development Agreement	Deposit	\$12,505.00	\$215.00	\$12,720.00
<input type="checkbox"/>	Environmental Impact Report Review	Deposit	\$9,685.00	\$215.00	\$9,900.00
<input type="checkbox"/>	Filming Permit	Fee	\$555.00	\$15.00	\$570.00
<input type="checkbox"/>	Filming Permit – Non-Profit or Student	Fee	\$150.00	\$15.00	\$165.00
<input type="checkbox"/>	Filming Permit – Still	Fee	\$445.00	\$15.00	\$460.00
<input type="checkbox"/>	Filming Permit – Amendment	Fee	\$140.00	\$15.00	\$155.00
<input type="checkbox"/>	General Plan Map or Text Amendment	Deposit	\$4,370.00	\$215.00	\$4,585.00
<input type="checkbox"/>	Historic Interest Site	Fee	\$720.00	\$170.00	\$890.00
<input type="checkbox"/>	Initial Study Preparation	Deposit	\$3,670.00	\$215.00	\$3,885.00
<input type="checkbox"/>	Landmark Designation	Fee	\$830.00	\$170.00	\$1,000.00



CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Lot Line Adjustment or Voluntary Merger	Deposit	\$1,795.00	\$170.00	\$1,965.00
<input type="checkbox"/>	Medical Cannabis Administrative Exception	Fee	\$155.00	\$15.00	\$170.00
<input type="checkbox"/>	Photocopying (per copy)	Fee	\$0.25	N/A	\$0.25
<input type="checkbox"/>	Preapplication Conference	Fee	\$400.00	N/A	\$400.00
<input type="checkbox"/>	Preliminary Review	Deposit	\$1,965.00	\$15.00	\$1,980.00
<input type="checkbox"/>	Public Art Review	Deposit	\$1,435.00	\$15.00	\$1,450.00
<input type="checkbox"/>	Reasonable Accommodation Request	Fee	\$400.00	\$15.00	\$415.00
<input type="checkbox"/>	Research Fee	Deposit	\$135.00/hourly	N/A	\$135.00/hourly
<input type="checkbox"/>	Rezone or Zoning Text Amendment	Deposit	\$4,150.00	\$215.00	\$4,365.00
<input type="checkbox"/>	Sandwich Board Sign/Banner Review	Fee	\$35.00	N/A	\$35.00
<input type="checkbox"/>	Sign Removal	Fee	\$30.00	N/A	\$30.00
<input type="checkbox"/>	Sign Review – Administrative/Staff	Fee	\$120.00	\$15.00	\$135.00
<input type="checkbox"/>	Sign Review – Individual/Minor	Fee	\$205.00	\$15.00	\$220.00
<input type="checkbox"/>	Sign Review – Major	Fee	\$380.00	\$15.00	\$395.00
<input type="checkbox"/>	Sign Variance	Fee	\$90.00	\$15.00	\$105.00
<input type="checkbox"/>	Site Inspection	Fee	\$120.00	N/A	\$120.00
<input type="checkbox"/>	Subdivision – Tentative Major	Deposit	\$5,270.00	\$215.00	\$5,485.00
<input type="checkbox"/>	Subdivision – Tentative Minor	Deposit	\$4,900.00	\$215.00	\$5,115.00
<input type="checkbox"/>	Subdivision Ordinance Exception	Fee	\$1,050.00	\$15.00	\$1,065.00
<input type="checkbox"/>	Time Extension Request	Fee	\$160.00	\$15.00	\$175.00
<input type="checkbox"/>	Transfer of Alcoholic Beverages/Shared Use of Production Facility	Fee	\$145.00	\$15.00	\$160.00
<input type="checkbox"/>	Tree Protection Plan	Fee	\$385.00	N/A	\$385.00
<input type="checkbox"/>	Tree Removal – City Arborist	Fee	\$250.00	\$15.00	\$265.00
		Plus Refundable Replacement Deposit of \$75.00 Per Tree (typically two replacement trees are required)			
<input type="checkbox"/>	Tree Removal Request – Tree Board	Fee	\$300.00	\$15.00	\$315.00
		Plus Refundable Replacement Deposit of \$75.00 Per Tree (typically two replacement trees are required)			

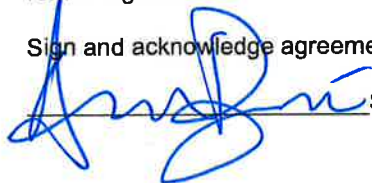
CHECK ALL THAT APPLY	PERMIT TYPE	FEE TYPE	AMOUNT	SUPPLIES AND MAILING LIST PREPARATION FEE*	TOTAL
<input type="checkbox"/>	Use Permit – Major	Deposit	\$1,770.00	\$215.00	\$1,985.00
<input type="checkbox"/>	Use Permit – Minor	Deposit	\$1,155.00	\$170.00	\$1,325.00
<input type="checkbox"/>	Use Permit – Temporary	Fee	\$285.00	\$170.00	\$455.00
<input type="checkbox"/>	Use Permit – Temporary, for occupancy of recreational vehicles for Sonoma Fire Victims	Fee	\$75.00	N/A	\$75.00
<input type="checkbox"/>	Variance	Deposit	\$1,155.00	\$215.00	\$1,370.00
<input type="checkbox"/>	Water Efficient Landscape Plan Review	Fee	\$355.00	\$15.00	\$370.00
<input type="checkbox"/>	Zoning Determination	Fee	\$125.00	\$15.00	\$140.00
<input type="checkbox"/>	Zoning Ordinance Interpretation	Fee	\$515.00	\$15.00	\$530.00

In addition, such fees as required by Local Agency Formation Commission and State Board of Equalization are to be paid to City of Sebastopol by the applicant prior to City filing annexation documents with Local Agency Formation Commission.

*\* For multiple applications (in most cases), only one supplies and/or mailing list preparation fee per application.*

**DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies.

Sign and acknowledge agreement with the Deposit Account fee and procedure:


 Signature Amanda Bruner Printed Name 23 Jan 20 Date



# City of Sebastopol

## ENVIRONMENTAL INFORMATION/ASSESSMENT FORM

*(To be completed by applicant)*

*The submittal information shall be provided to the Planning Department.*

Date Filed: \_\_\_\_\_

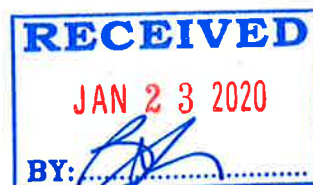
### General Information:

1. Name of developer or project sponsor: THE BEALE GROUP  
Address of developer or project sponsor: 555 S. MAIN SEBASTOPOL, CA
2. Address of project: 6950 BURNETT ST. SEBASTOPOL  
Assessor's Block and Lot Number: 004-054-020
3. Name of person to be contacted concerning this project: Grace Meeks  
Address of person to be contacted concerning this project: 369 S. Main SEBASTOPOL  
Telephone Number of person to be contacted concerning this project: 707-827-9616
4. Indicate number of the permit application for the project to which this form pertains:  
\_\_\_\_\_
5. List and describe any other related permits and other public approvals required for this project, including those required by City, Regional, State and Federal Agencies:

SEE ATTACHED DOCUMENT

6. Existing Zoning District: CD Existing General Plan Designation: CC
7. Propose Use of Site (Project for which this form is filed): RESTAURANT / RETAIL

SEE ATTACHED DOCUMENT FOR MORE INFO.



**PROJECT DESCRIPTION:**

8. Site Size: .21 ACRES
9. Square Footage: 10,591 SF OF CONDITIONED SPACE
10. Number of floors of construction: 3 - 3rd level is non conditioned space
11. Amount of off-street parking: N/A
12. Attach plans SEE ATTACHED DRAWINGS
13. Proposed scheduling SEE ATTACHED DOCUMENT
14. Associated project
15. Anticipated incremental development: SEE ATTACHED DOCUMENT
16. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. N/A
17. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. SEE ATTACHED DOCUMENT
18. If industrial, indicate type, estimated employment per shift, and loading facilities. N/A
19. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project. N/A
20. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. SEE ATTACHED DOCUMENT

***Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).***

21.	Change in existing features of any bays, tidelands, beaches or hills, or substantial alternation of ground contour.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
22.	Change in scenic views or vistas from existing residential areas or public lands or roads.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
23.	Change in pattern, scale or character of general area of project.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
24.	Significant amounts of solid waste or litter.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
25.	Change in dust, ash, smoke, fumes or odors in vicinity.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
26.	Change in ocean, bay, lake, stream or ground water quality or	Yes	No

	quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27.	Substantial change in existing noise or vibration levels in the vicinity.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
28.	Site on filled land or on slope of 10 percent or more.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
30.	Substantial change in demand for municipal services (police, fire, water, sewage, etc).	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
31.	Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc).	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
32.	Relationship to a larger project or series of projects.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

**Environmental Setting:**

33. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted.

SEE ATTACHED DOCUMENT

34. Describe the surrounding properties, including information on plant and animals and any cultural historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc), intensity of land use (one-family, apartment houses, shops, department stores, etc), and scale of development (height, frontage, set-back, rear yard, etc). Attach photographs of the site. Snapshots or Polaroid photos will be accepted.

SEE ATTACHED DOCUMENT

	YES	NO
<b>A. Does the Project involve any of the following?</b>		
1. No change in the square footage to the existing structure?		<input checked="" type="checkbox"/>
2. An addition of more than 50% of square footage to the existing structure?		<input checked="" type="checkbox"/>
3. An addition of more than 2500 square feet to the existing structure?		<input checked="" type="checkbox"/>
4. An addition of more than 10,000 square feet to the existing structure?		<input checked="" type="checkbox"/>
5. Demolition of the existing structure? <i>very small about 100 sq ft</i>		<input checked="" type="checkbox"/>
	YES	NO
<b>B. Does the Project involve the replacement or reconstruction of existing structures or facilities at the site which:</b>		
1. Will have substantially the same purpose and capacity as existing structures at the site? <i>Increases Capacity mainly 2nd level</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will result in an increase in square footage or capacity as compared to the existing structure?	<input checked="" type="checkbox"/>	

*conditioned space substantially the same  
Capacity increased - more restaurants & 1st level  
& added 3rd level use.*

	YES	NO
<b>C. Does the Project involve new construction of:</b>		
1. 35 or more dwelling units?		X
2. More than 15,000 square feet of commercial, industrial, governmental, or institutional floor area?		X
3. Stores, motels, offices, restaurants, and similar structures designed for an occupant load of more than 30 persons?	X	
	YES	NO
<b>D. Does the Project involve division of property into more than four parcels or consolidation of more than four parcels?</b>		X
	YES	NO
<b>E. Will the Project require issuance of a Variance, Use Permit, Zoning Ordinance Amendment, Zoning Map Amendment, or General Plan Amendment?</b>	X	
	YES	NO
<b>F. Will the Project result in a change in use at the site (for example: from residential to commercial or from office to restaurant?)</b> <i>More Restaurant space.</i>	✓	
	YES	NO
<b>G. Is this Project:</b>		
1. Similar to the other projects for which you have received permits in the last two years in the City of Sebastopol?		X
2. Similar to other projects, which you are planning to develop within two years in the City of Sebastopol?		X
	YES	NO
<b>H. Does the Project involve changes to an official City landmark?</b>		X
	YES	NO
<b>I. Does the Project involve use of disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives?</b>		X
	YES	NO
<b>J. If the Project is located within 500 feet of a residential zone or noise-sensitive land uses, will the construction of the project involve the use of pile driving, night time track hauling, blasting, 24 hour pumping, or other equipment that creates high noise levels and or vibrations?</b>		
	YES	NO
<b>K. Does the Project involve the construction, substantial remodel, or 50% or more addition to the following types of uses?</b>		
Mobile home, amphitheater, concert hall, auditorium, meeting hall, hospital, church, library, school classrooms, or day care?		X

I certify that the information in this form is correct to the best of my knowledge.

*[Signature]*  
Applicant Signature

*1-22-20*  
Date

**Certification:**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information represented are true and correct to the best of my knowledge and belief.

Date: 1-22-20

Signature: 

Printed Name: Gregory Beck

For: The Beck Group



# Builders' Studio

OF SEBASTOPOL

Environmental Assessment Form Info  
January 22, 2020

The following are responses to questions from the environment assessment form.

**5. List of related permits/approval required for this project:**

- Demo Permit – Interior already obtained
- Demo permit – Exterior
- Building permit
- Design Review Board Approval
- State Health Department approval

**7. Propose Use of Site:**

- General Building - Exterior shell and infrastructure- Stair and elevator tower for convenience, requirements and aesthetic appeal. Finishes will be updated to a more simplified, modern and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal flavor with a combination of warmer woods, deep and smooth stucco color and finish, and metal windows and doors.
- First level- Food hall and marketplace with private gathering room and new covered porch. Majority common area for all customers to use and enjoy, including shared scullery and unisex restrooms. Small kitchens with a balance of food options for every craving and budget.
- Second level- Currently proposed to be more traditional standalone tenant spaces, including 3 existing outdoor balcony spaces. 1-3 Destination restaurants and/or retail. Unisex restrooms will also be on this level.
- Third level- Rooftop, outdoor patio. Beverage services and access/menu for all restaurants located at lower levels. Family friendly. Social hub for community of all ages. Fresh air, food and drink and attitude. Thoughtful and durable design, while maintaining a relaxed and comfortable atmosphere.

**13. Proposed scheduling:**

- Demo permit was obtained for the interior and demolition work is underway

- Construction should be complete by the end of 2020 or within approximately 6 months of receiving building permit.

15. First and third level tenant improvement work will be first, with the second level tenant improvement work following.

17. This commercial project is restaurants and retail, intended to support the immediate neighborhood as well as the city and regional area.

20. We are needing a variance for the building height. We are developing the existing roof as a tenant/public space for the public. We are adding an elevator to this third level and with the clearance requirements for the elevator shaft, we extend beyond the stated height limit. We have kept the roof pitch to a minimum (2:12) to minimize impact on neighboring properties.

33. The existing 2-story building on this project site once housed a restaurant that was a gathering spot for local families and youth teams. The local paper also once used a portion of the building. More recently, many spaces have been empty, including the restaurant area. A small portion of the first floor and half of the second floor were used as office space. In anticipation of the remodel, the building is currently empty.



Photo looking North East toward the property site.

34. The surrounding properties are similar in size and use as this project. Located in the central core, this project and surrounding commercial (retail, offices, banks and restaurants) space. Below are pictures of adjacent areas.





Photo looking west along Burnett street



Photo looking north along S. Main





Photo on S. Main looking North West. The property in behind the trees on the right.





### **The Livery on Main – Mission and Vision and Letter from Owner**

Project Description / Written Statement

September 14, 2020

#### **Our mission and vision of this property and for our community:**

##### **The Project:**

The Livery is the proposed name of the building.

Exterior shell and infrastructure - Stair and elevator tower for convenience, requirements and aesthetic appeal. Finishes will be updated to a more simplified, modern, and durable flavor. Utilize and expand upon the existing garbage and utility courtyard. Architecture to have a more coastal flavor with a combination of brick cladding at the first level and entries, warmer wood, smooth stucco, and metal windows and doors.

##### **The Use:**

The building will have a single tenant, Farm to Coast Collective (F2CC). F2CC is a restaurant, food and beverage service and marketplace that will include many licensing participants. This business model will allow for many new and/or small businesses to utilize the entire building, share operating costs resulting in greater profit margins. We also believe it will provide a more authentic and complete representation of what Sebastopol and our west county has to offer.

- First level- Food hall and marketplace with indoor/outdoor seating including a new covered porch. Majority common area for all customers to use and enjoy, including shared scullery and unisex bathrooms. Smaller than standard kitchens with a balance of food options for every craving and budget.
- Second level- This will be primarily used for back of house, shared offices, storage, along with a potential shared prep/presentation kitchen. There will also be beverage services that will provide access to the full menus of the kitchens below. Customers will also have access to three existing balconies with partial covering and seasonal protection.
- Third level- This will be partially covered, open air, outdoor spaces. Beverage Services with access to all the kitchens below. Live entertainment and special events. Family friendly. Social hub for community of all ages. Fresh air, food and drink and attitude. Thoughtful and durable design, while maintaining a relaxed and comfortable atmosphere.

Letter from Owner/Applicant  
January 22, 2020

**By our community for our community-**

As a homeowner, father, multiple business owner, and volunteer in our small town of Sebastopol, I have a personal interest and desire to actively help maintain and improve our community. This is our forever home, and we are all-in.

**How this project came to be:**

We, Builders' Studio of Sebastopol and THRIVE Construction Group, were hired by the previous owner to design, permit, and construct potential tenant improvements. After several meetings and some progress, we felt that the direction of the tenant improvements and the overall building were not long term or in the best interest of our town.

The building was once the beacon of a very successful business. The previous owners constructed the building approximately forty years ago, and it was once an active corner in downtown. In more recent years, the management and attention to the building waned, resulting in its current state and lack of direction.

This property is unique. Existing roof decks, divided utilities for approximately half a dozen separate tenants, fire sprinklers, public parking lot across the street, flexible interior layout due to large spanning beam and column construction made this ripe for reimagination. That's where my mind went and quickly became a mission. The building was not for sale but after approximately six months of negotiation we purchased the building from the original owners. It felt more like a passing of a baton than it did a real estate transaction.

**Our motivation and interest:**

Do it once and do it right. Our vision for this building and property extends beyond its property lines. Being an active member of our community and a frequenter of downtown businesses, I felt the need for a local and authentic take on our community's future, direction, and needs. In other words, what would benefit our community? There has been a lot of "outside" investment in our community's commercial real estate, and in my opinion, resulting in underwhelming connection, care, and cohesiveness with our community and the tenants.

The ethos of all of our businesses is strongly centered around small scale, with an emphasis on the power and uniqueness of the individual (the individual employee, client, etc.). This building is large. It could support one or two large business spaces, but that is not our passion and also not what we believe our town needs. Many of the commercial tenant spaces, both occupied and unoccupied, in our downtown are larger than what many small businesses need and can afford. Many are disproportionately large in comparison to their frontage and presence to their potential customers. This makes starting a new restaurant or retail store unattainable for many, or overly burdensome for those that can make the upfront and ongoing financial commitment, leaving very little room for profitability and sustainability. This business model provides access and more financial balance for small business owners and entrepreneurs. By sharing the costs of design, permitting, construction, and operations, we believe that the small business has a better chance to thrive and focus more on their craft than business survival.





### **The Livery on Main – Response to DRB Comments**

We are excited and grateful to be presenting to you an updated and much-improved project. In addition to your feedback, we have benefited from rethinking and fine-tuning the vision and the logistics of this project with a better understanding of the new reality in which we are living. This has been a trying time for all of us, and there is still a lot to be considered “unknown” in our futures. Ironically, we have never believed more in this town and this project than we do now. Many small businesses are struggling to stay afloat under these circumstances, and this design and model will provide a much more versatile and resilient foundation for those to operate. Our model already optimizes current restaurant requirements with outdoor seating on every level, curbside pickup stations for each kitchen, and smaller kitchens allowing less staff to be present to operate. These features, combined with shared staffing, delivery, and point of sale, reduce the load for each individual, creating an ecosystem of small local businesses ready for current challenges and beyond.

#### **General building:**

The previous meeting helped us realize how large and important this project is, and for that we thank you. Your comments helped us realize that we have an “awesome opportunity” to “completely transform” this important building situated on a prominent street corner of Sebastopol, versus merely “dressing up the building.” These recommendations inspired us to focus on three new areas: historical reference, regional agricultural influence, and a modern barn reference. We believe this new and improved design reflects the level of respect and detail deserved by this project and this review process.

#### **Exterior material and color:**

We researched the history of the property and found that the original building that stood here in the late 1800s was a brick masonry building. Using this new knowledge, we felt it was appropriate to pay respect to its past and capture this historical element while complimenting it with more modern materials including smooth stucco, smooth-surfaced cedar siding, and exposed roof structure. The color and smooth consistency of the stucco is intentional, creating a background compliment the texture and natural appearance of the cedar and brick.

#### **Third level design:**

Comments from the design review board concerning the third level deck were positive. Our new design developed two deck areas. One is more garden focus, and one is covered with an outdoor kitchen and lounge area. We also increased the area of the original covered and secured bar area. This space is now a larger modern barn multi-purpose area integrated with the Burnett Street entry lobbies. The floating roof shown in the original drawings is now, along with the heavy timber rafters, a prominent feature of the third level and the entire building. Also, the mechanical platform helps balance the building and provides a focal point for the new stairs in the alley. This feature references local water tower structure.

### Entries:

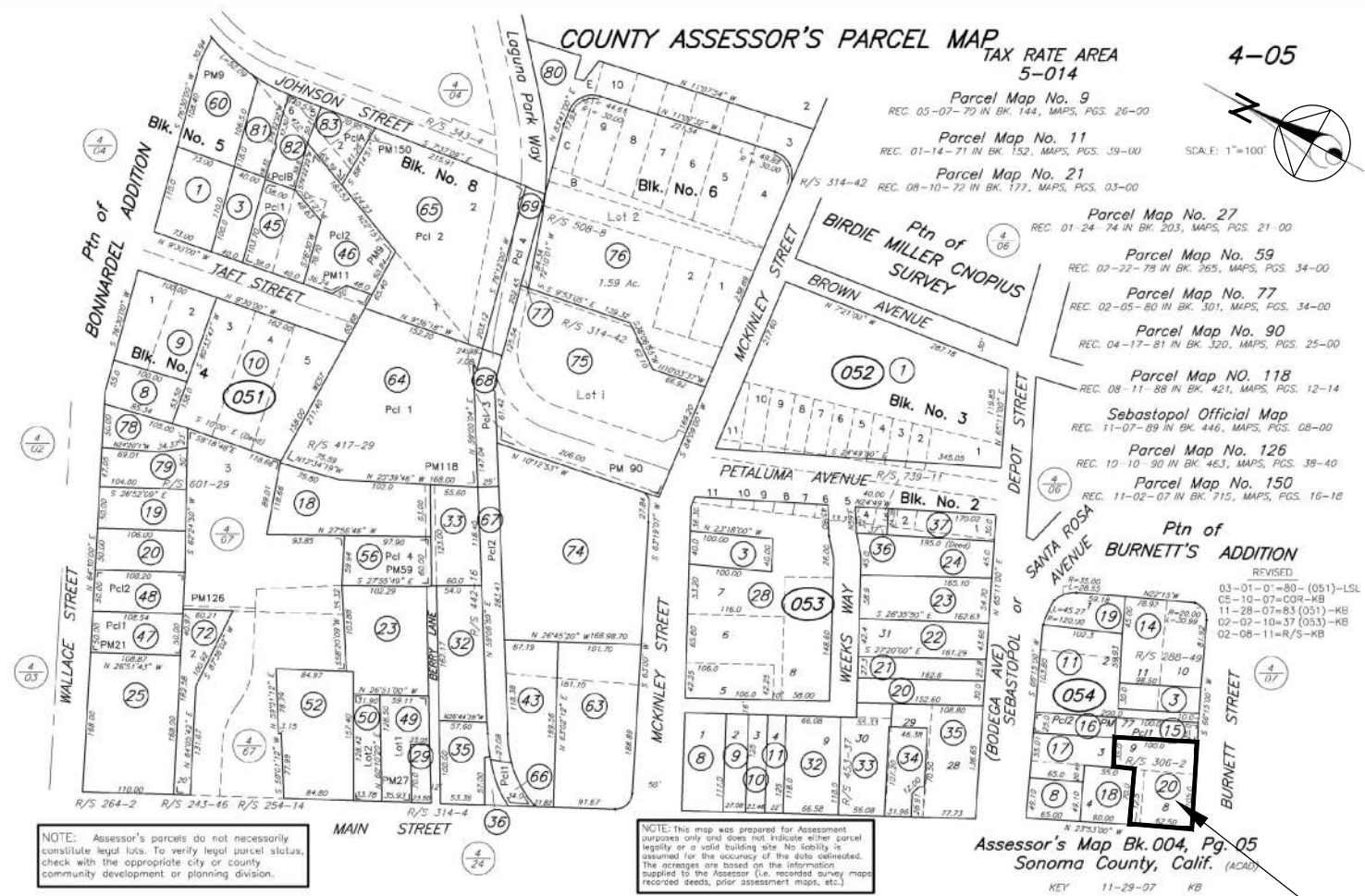
The importance of the building corner was mentioned many times at the previous meeting. We explored many options for the corner and consistently came back to the same conclusion that creating a significant focal point on the corner of the building would take away from the entrance/vertical circulation features. The main entries are now the focal point for both Burnett Street and S. Main Street. The brick extends beyond the base level to highlight these entries. We determined that the entire building represents the corner of the block. This new design brings a lot of breadth and depth to this intersection while not overwhelming the other structures and landscapes nearby. We also believe that the proposed landscaping and art installation(s) will also enhance the project's appeal and provide an attractive presence. Moving an entry to the corner was not a workable option as we feel it is essential for this area to be a sitting area for future customers rather than merely a transitional space to get to another part of the building. We believe this building now creates a strong corner presence.

### The west alley:

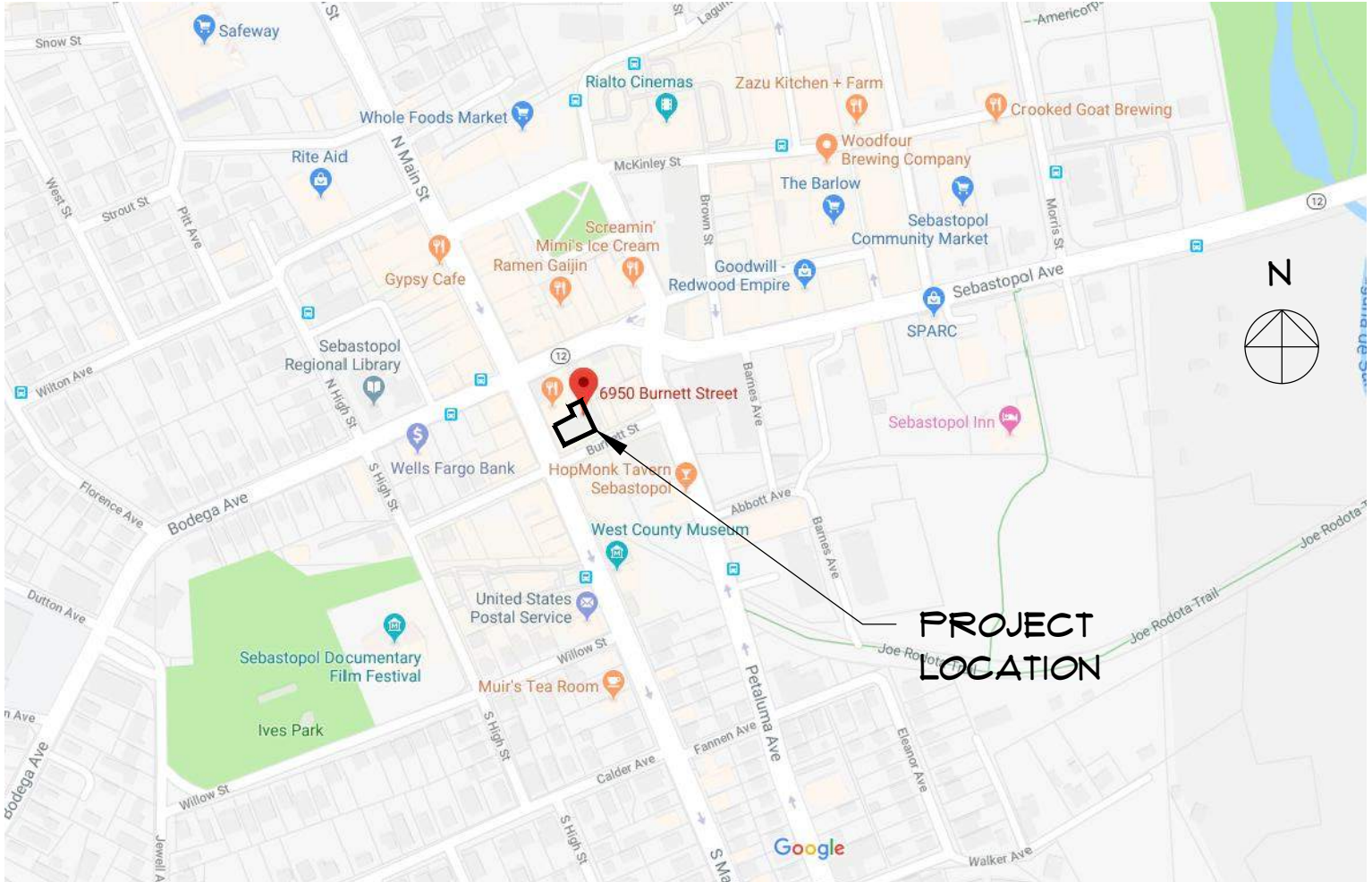
We agreed with the feedback regarding this alley feeling like a back entrance and/or dark. We also used this redesign to move the stairs into this space to make them more visible and usable for future customers.

This change also proved to be an important solution for mechanical and venting. We utilized the shelter for this stairwell to not only protect customers from the elements but also to further remove the sound and smell that comes with this equipment from common area space on the third level.

A.P.N. MAP:



VICINITY MAP:



PROJECT LOCATION

BUILDING USES:

HISTORICAL USES:	PROPOSED USES:
1ST LEVEL: RESTAURANT/RETAIL/OFFICE SPACE	SINGLE TENANT FOR ENTIRE BUILDING, WITH MULTIPLE LICENSEES, TO CONSIST OF RESTAURANT RELATED SERVICES AND SPACES.
2ND LEVEL: OFFICE AND STORAGE SPACES, 3 OUTDOOR BALCONIES	1ST LEVEL: MULTIPLE KITCHENS WITH COUNTER SERVICE, STORAGE, RETAIL, INDOOR AND OUTDOOR SEATING
3RD LEVEL: ROOF TOP EQUIPMENT	2ND LEVEL: EAT/WORK SHARED OFFICE SPACES, TASTING ROOM, ALL WITH ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS. 3 OUTDOOR BALCONIES
	3RD LEVEL: MULTI-PURPOSE OUTDOOR DINING AND EVENT SPACE W/ BEVERAGE SERVICE AND ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS.
	3RD LEVEL ROOF: SOLAR PANELS & ROOFTOP EQUIPMENT

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS FOR DESIGN REVIEW:

- EXTERIOR LIGHTING
- SIGNAGE
- LANDSCAPING
- TENANT IMPROVEMENTS

CURRENT ASSUMPTIONS FOR THE DEFERRED SUBMITTALS ARE AS FOLLOWS:

- EXTERIOR LIGHTING (DEFERRED SUBMITTAL)
  - THE STYLE, INTENSITY AND ORIENTATION OF LIGHTING WILL BE DESIGNED TO LIMIT GLARE FOR VEHICULAR TRAFFIC, PEDESTRIANS OR NEIGHBORS. IT WILL ALSO MINIMIZE UPWARD GLARE.
  - THE STYLE, INTENSITY AND ORIENTATION OF LIGHTING WILL BE DESIGNED TO LIMIT GLARE FOR VEHICULAR TRAFFIC, PEDESTRIANS OR NEIGHBORS. IT WILL ALSO MINIMIZE UPWARD GLARE.
  - LIGHTING FIXTURES WILL BE SHIELDED OR OTHERWISE DESIGNED TO MINIMIZE UPWARD GLARE.
  - ENERGY-EFFICIENT LIGHTING WILL BE PROVIDED. SOLAR-POWERED LIGHT WILL BE UTILIZED WHENEVER POSSIBLE.

2. SIGNAGE (DEFERRED SUBMITTAL):

- THE SIGN PACKAGE, IN THE DEFERRED SUBMITTAL, WILL BE INTEGRATED INTO THE REMODEL OF THE FACADE AND BUILDING.
- SIZE, SHAPE, COLOR, TEXTURE AND LIGHTING OF THE SIGNS WILL BE COMPLEMENTARY TO THE OVERALL DESIGN OF THE BUILDING.
- SIGNS WILL BE VANDAL AND WEATHER RESISTANT.
- SIGNS WILL BE PROFESSIONAL CONSTRUCTED USING HIGH QUALITY NATURAL MATERIAL.
- EXTERIOR LIGHTING THAT IS USED FOR SIGNS SHALL BE MEET ALL GUIDELINES FOR SIGNAGE AND FOR EXTERIOR LIGHTING.

3. LANDSCAPE (DEFERRED SUBMITTAL):

- PRELIMINARY LANDSCAPE PLANS, FINAL LANDSCAPE PLANS AND IRRIGATION PLANS WILL BE PROVIDED PER CITY REQUIREMENTS.
- THE PLANS WILL ADHERE TO THE CITY'S WATER REDUCTION IN LANDSCAPING ORDINANCE.

SOLAR INFORMATION

SOLAR - PHOTOVOLTAIC PANELS:

- THE NUMBER OF PANELS SHOWN ON THESE DRAWINGS ARE BASED ON THE PREScriptive METHOD OF 2 WATTS PER SQUARE FOOT OF CONDITIONED SPACE.
- PHOTOVOLTAIC PANELS WILL BE INSTALLED ACCORDING TO THE GUIDELINES PROVIDED BY SEBASTOPO.
- EXPANSION AREA PROVIDED AT SECOND LEVEL TRELLIS FOR SOLAR PANELS TO MEET 118% OF REQUIRED PANELS BASED ON CALCULATION BELOW.
- CALCULATIONS BASED ON JINKO EAGLEPERC62-400M-124L-V PANEL  
9,066 SF OF CONDITIONED SPACE  
2 WATTS PER SF  
18,132 WATTS  
400 WATTS FOR EACH PANEL  
45.33 PANELS REQUIRED  
SPACE FOR APPROXIMATELY 88 PANELS

PROJECT TEAM:

OWNER:	BEALE GROUP PROPERTY, LLC 555 S. MAIN STREET SUITE 1 SEBASTOPO, CA 95412 707.821.3616
ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPO 369 S. MAIN STREET SEBASTOPO, CA 95412 707.821-3609 GREGORY BEALE, GREGORY@BUILDERSSTUDIOINC.COM GRACE MEEKS, GRACE@BUILDERSSTUDIOINC.COM
STRUCTURAL:	BUILDERS' STUDIO OF SEBASTOPO 369 S. MAIN STREET SEBASTOPO, CA 95412 KATE GOEDE, KATE@BUILDERSSTUDIOINC.COM
LANDSCAPE ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPO 369 S. MAIN STREET SEBASTOPO, CA 95412 JESSICA NORLING, JESSICA@BUILDERSSTUDIOINC.COM
ELECTRICAL:	BROKAW DESIGN 6060 DAWN DRIVE ROCKERT PARK, CA 94921 707.193-6822 COURTNEY CHUENTYANE, COURTNEY.CHUENTYANE@BROKAUDESIGN.COM
MECHANICAL/PLUMBING:	TEP ENGINEERING 880 SECOND STREET SANTA ROSA, CA 95404 707-538-0400 ROB MAIN, P.E., ROB@TEP.NET
ENERGY/CALGREEN:	GILLERAN ENERGY MANAGEMENT 1504 DAVIS ST. SANTA ROSA, CA 95401 KEVIN GILLERAN, KEVIN@GILLERANENERGY.COM
KITCHEN/RESTAURANT DESIGN:	BALLINGER RESTAURANT EQUIPMENT, INC. 1000 APOLLO WAY, SUITE 110 SANTA ROSA, CA 95401 707-544-8924 LARRY BALLINGER, LARRY@BREQUIPMENT.COM
CONTRACTOR:	THRIVE CONSTRUCTION GROUP 555 S. MAIN ST., SUITE 1 SEBASTOPO, CA 95412 707.821.3600

AREA TABULATION:

EXISTING CONDITIONED SPACE	PROPOSED CONDITIONED SPACE
First Level Conditioned Space 6,478 sf	First Level Conditioned Space 5,151 sf
Second Level Conditioned Space 4,317 sf	Second Level Conditioned Space 3,915 sf
Total Conditioned Space 10,795 sf	Total Conditioned Space 9,066 SF
Other UPS Building - Not part of project 849 sf	Other UPS Building - Not part of project 849 sf
EXISTING EXTERIOR / NON CONDITIONED SPACE	PROPOSED EXTERIOR / NON CONDITIONED SPACE
First Level Trash Enclosure 300 sf	First Level Trash Enclosure 300 sf
Outdoor Covered Space 712 sf	Outdoor Covered Space 573 sf
Subtotal 1,012 sf	Porch Area - Outdoor seating area 684 sf
Second Level Deck Area 2,061 sf	Exterior Lobby - Burnett Street 798 sf
- Southwest 1,095 sf	Subtotal 2,355 sf
- West Above UPS 90 sf	Second Level Deck Area 2,426 sf
- North 375 sf	- Southwest 1,280 sf
Deck above Trash 122 sf	- West Above UPS 356 sf
Roof Top 736 sf	- North 375 sf
- Above Alley 266 sf	- Above Alley 415 sf
- Above Alley 470 sf	Deck above Trash 134 sf
Subtotal 2,919 sf	Exterior Lobby - Burnett Street 713 sf
Third Level (Roof Level) Mechanical Space 5,677 sf	Subtotal 3,293 sf
Subtotal 5,677 sf	Third Level Covered - Multi-Purpose Space 2,430 sf
Total Exterior / Non Conditioned Space 9,608 sf	Garden Deck - West Side 1,791 sf
	Trellis Deck - North Side 1,044 sf
	Exterior Lobby - Burnett Street 713 sf
	Mechanical Space/Landscape Area 179 sf
	Storage Space 193 sf
	Subtotal 6,350 sf
	Third Level Roof Mechanical Space/Solar Panels (Above Covered Multi-Purpose Space) 2,213 sf
	Mechanical Space (Above Stair off S. Main Street) 513 sf
	Mechanical Space (Above Storage) 193 sf
	Subtotal 2,919 sf
	Total Exterior / Non Conditioned Space 14,917 sf

SUMMARY SCOPE OF WORK:

THIS DESIGN REVIEW APPLICATION IS FOR THE REMODEL OF THE BUILDING SHELL THAT INCLUDES THE EXTERIOR AND GENERAL LAYOUT OF THE INTERIOR.

THE EXTERIOR OF THE BUILDING IS BEING MODIFIED IN THE FOLLOWING WAY:

- MATERIAL CHANGE
- WINDOOR OPENINGS ARE BEING MODIFIED
- FIRST FLOOR PORCH AREA WITH GLASS ROLL-UP DOORS
- 3RD LEVEL ADDED W/ GARDEN/LANDSCAPE AREA TO THE WEST & A COVERED AREA ON THE NORTH DECK.
- MECHANICAL PLATFORM ADDED ABOVE STAIRWAY OFF S. MAIN ST. & ON ROOF OF 3RD LEVEL.

THE INTERIOR OF THE BUILDING WILL BE MODIFIED TO ALLOW FOR LICENSEES. THE GENERAL LAYOUT IS SHOWN FOR REFERENCE. THE RESTROOMS, RAMPS, AND OTHER SHARED SPACES WILL BE PART OF THE SHELL BUILDING PERMIT.

- THE FIRST LEVEL LAYOUT SHOWS 5-6 AREAS FOR POTENTIAL LICENSEES.
- THE SECOND LEVEL DIAGRAMMATICALLY SHOWS A CENTER CIRCULATION AREA WITH RESTROOMS. THE REST OF THE 6TH FLOOR IS TENANT SPACE.
- THE THIRD LEVEL SHOWS THE DEVELOPMENT OF AN OUTDOOR TENANT/PUBLIC SPACE WITH AN ENCLOSED AREA (NON-CONDITIONED) THAT CAN BE SECURED, SEATING AREA UNDER A TRELLIS AND SEATING AREA OPEN TO THE SKY. THIS AREA IS SEPARATE FROM THE UTILITY/MECHANICAL AREA BY A SOLID PARTITION WALL.

PROJECT DATA:

A.P.N. NUMBER:	004-054-020
ZONING:	A - CD - (COUNTOUN CORE) MULTIPLE COMBO/STORES & OFFICE
SITE LOCATION:	6950 BURNETT STREET, 125 S. MAIN STREET, 131 S. MAIN STREET, 133 S. MAIN STREET, 135 S. MAIN STREET SEBASTOPO, CA 95412
LOT AREA:	0.21 ACRES
OCCUPANCY:	GROUP A-2, RESTAURANTS, CAFETERIAS, AND SIMILAR DINING FACILITIES (INCLUDING ASSOCIATED COMMERCIAL KITCHENS)
CODE:	2019 CBC, 2019 CRC, 2019 CALGREEN
CONSTRUCTION:	TYPE VA, FULLY SPRINKLERED

FAR

ALLOWABLE FAR: 1.0-2.5

EXISTING GROSS FLOOR AREA - 13,135 SF  
SITE AREA - 21 ACRES = 9,141.6 SF  
EXISTING FAR: 13,135/9,141.6 = 1.50

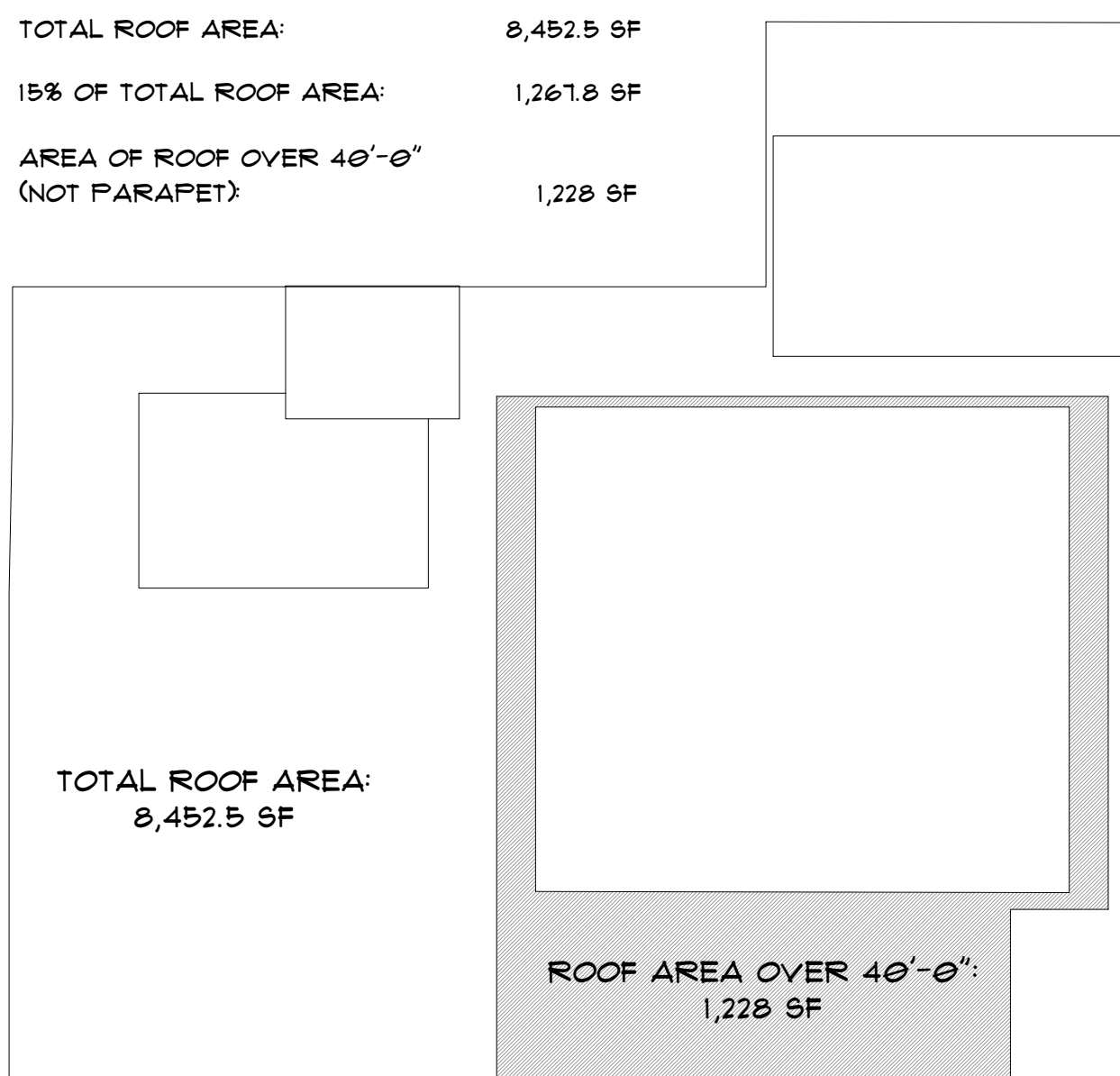
PROPOSED GROSS FLOOR AREA - 19,643 SF  
SITE AREA: 21 ACRES = 9,141.6 SF  
PROPOSED FAR: 19,643/9,141.6 = 2.141

GROSS FLOOR AREA INCLUDES INTERIOR SPACE AND EXTERIOR AREAS THAT ARE COVERED. IT DOES NOT INCLUDE TRELLIS AREA.

SHEET INDEX:

A00	TITLE SHEET, NOTES, MAPS, INDEX OF DRAWINGS
A02	SITE PLANS
A03	PHOTOS OF EXISTING BUILDING
A04	MATERIAL BOARD
A05	3-D IMAGE
A1.1	EXISTING FIRST LEVEL PLAN
A1.2	EXISTING SECOND LEVEL PLAN
A1.3	EXISTING THIRD LEVEL PLAN
A2.1	FIRST LEVEL PLAN
A2.2	SECOND LEVEL PLAN
A2.3	THIRD LEVEL PLAN
A2.4	THIRD LEVEL ROOF PLAN
A5.1	EXISTING EXTERIOR ELEVATIONS
A5.2	EXISTING EXTERIOR ELEVATIONS
A5.3	PROPOSED EXTERIOR ELEVATIONS
A5.4	PROPOSED EXTERIOR ELEVATIONS
A6.1	BUILDING SECTION
A8.1	DETAILS

ROOF AREA:



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CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.
GB	GM, JN	GM	DESIGN REVIEW SUBMITTAL RESUBMITTAL - ROOF UPDATE	9/15/20 10/21/20	

THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPO, CA 95412  
004-054-020

TITLE SHEET, NOTES,  
MAPS, SITE PLAN &  
LIST OF EXT  
FINISHES

SHEET  
A0.0

PDF  
DATE 10/21/20

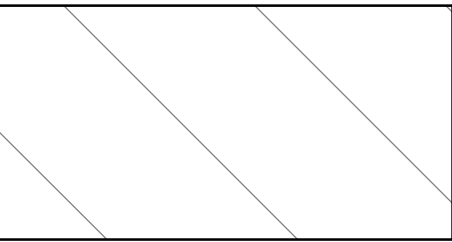
SHEET NOTES:

1. interior PLAN LAYOUT IS SHOWN FOR REFERENCE.  
FINAL PLAN WILL BE SHOWN IN THE BUILDING PERMIT SET.

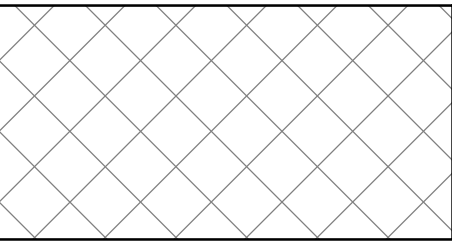
KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING

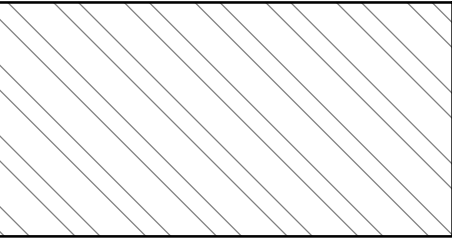
LEGEND:



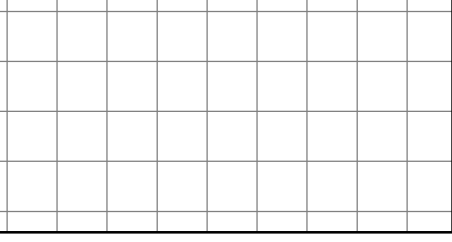
CONDITIONED SPACE



ENCLOSED NON-CONDITIONED SPACE



CONDITIONED SPACE W/ NO WORK



covered exterior area

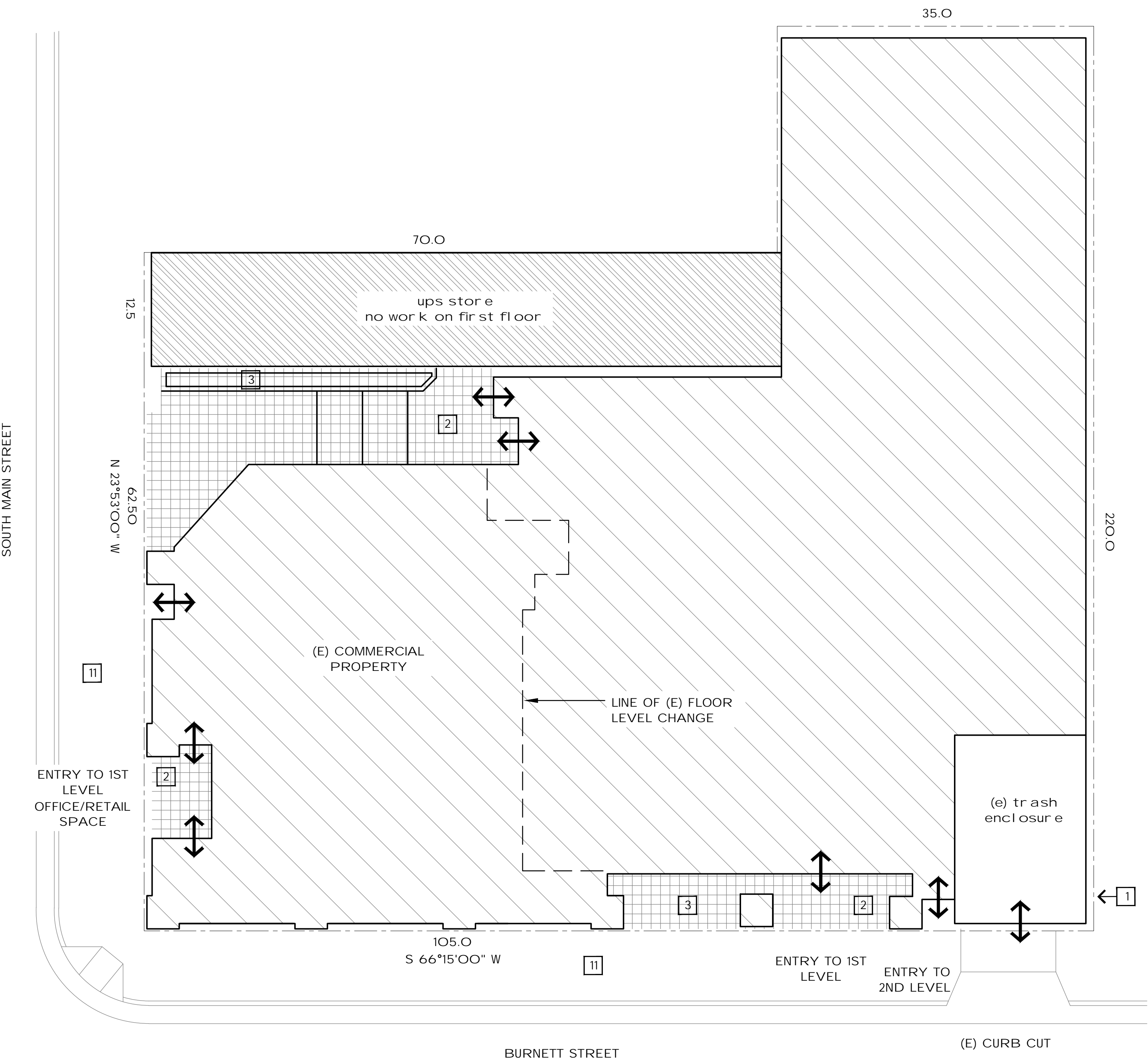
REV	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			

THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

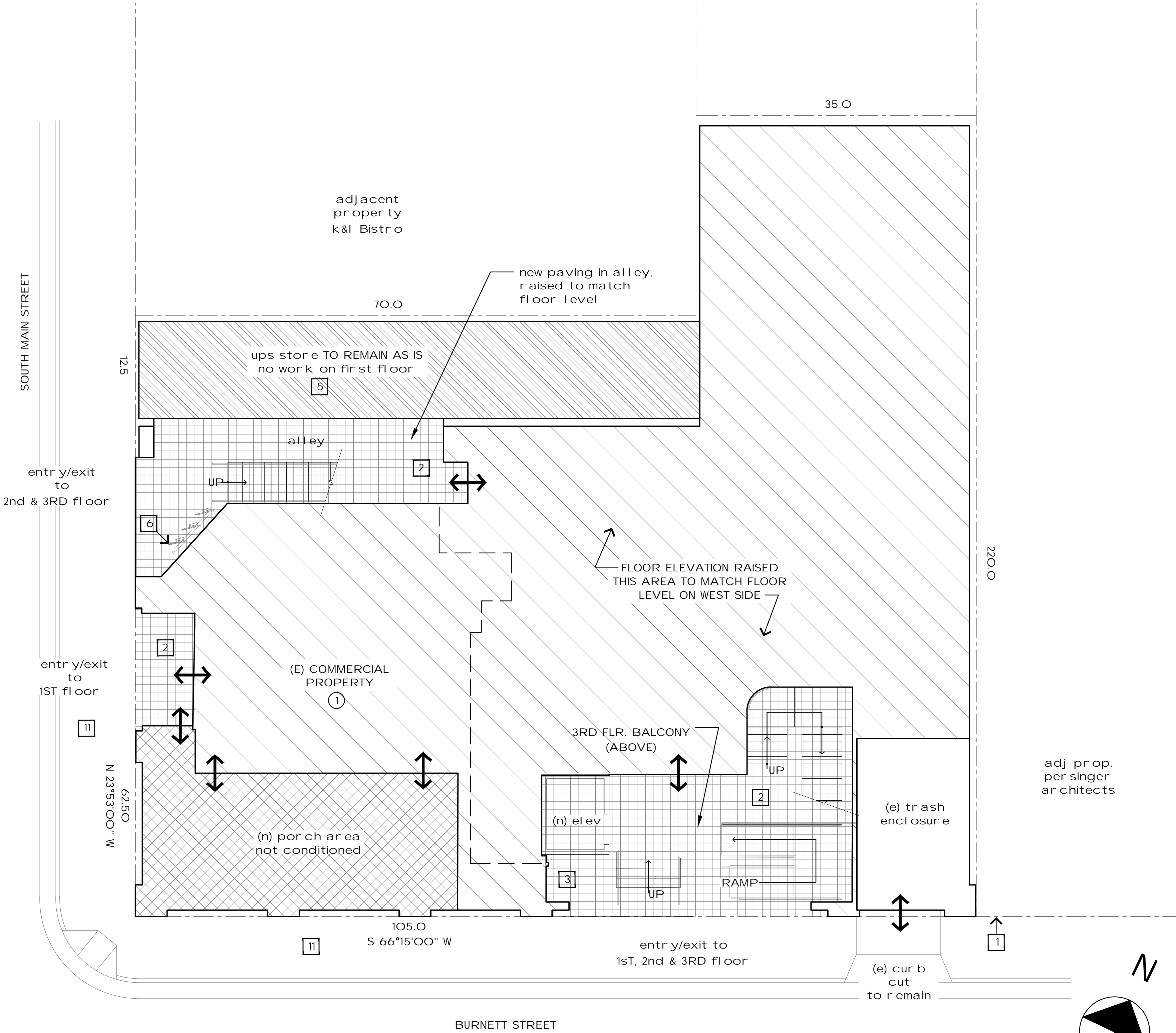
TITLE SHEET, NOTES,  
MAPS, SITE PLAN &  
list of ext  
finishes

Sheet  
**AO.2**

PDF  
DATE 10/21/20



1 EXISTING SITE PLAN W/ BUILDING FOOTPRINT  
SCALE: 1/16" = 1'-0"



1 PROPOSED SITE PLAN W/ BUILDING FOOTPRINT  
SCALE: 1/16" = 1'-0"



1 FROM BURNETT STREET LOOKING WEST TOWARD SOUTH MAIN #2



2 ENLARGED VIEW FROM S. MAIN STREET AT CORNER OF BURNETT ST.



3 FROM PROJECT ENTRY LOOKING NORTH WEST ACROSS S. MAIN ST.



4 LOOKING SOUTH DOWN S. MAIN FROM PROJECT



5 FROM BURNETT STREET LOOKING TOWARD EAST PETALUMA AVE.



6 FROM S. MAIN LOOKING NORTH, NORTH OF PROJECT (UPS LIMIT OF SCOPE)



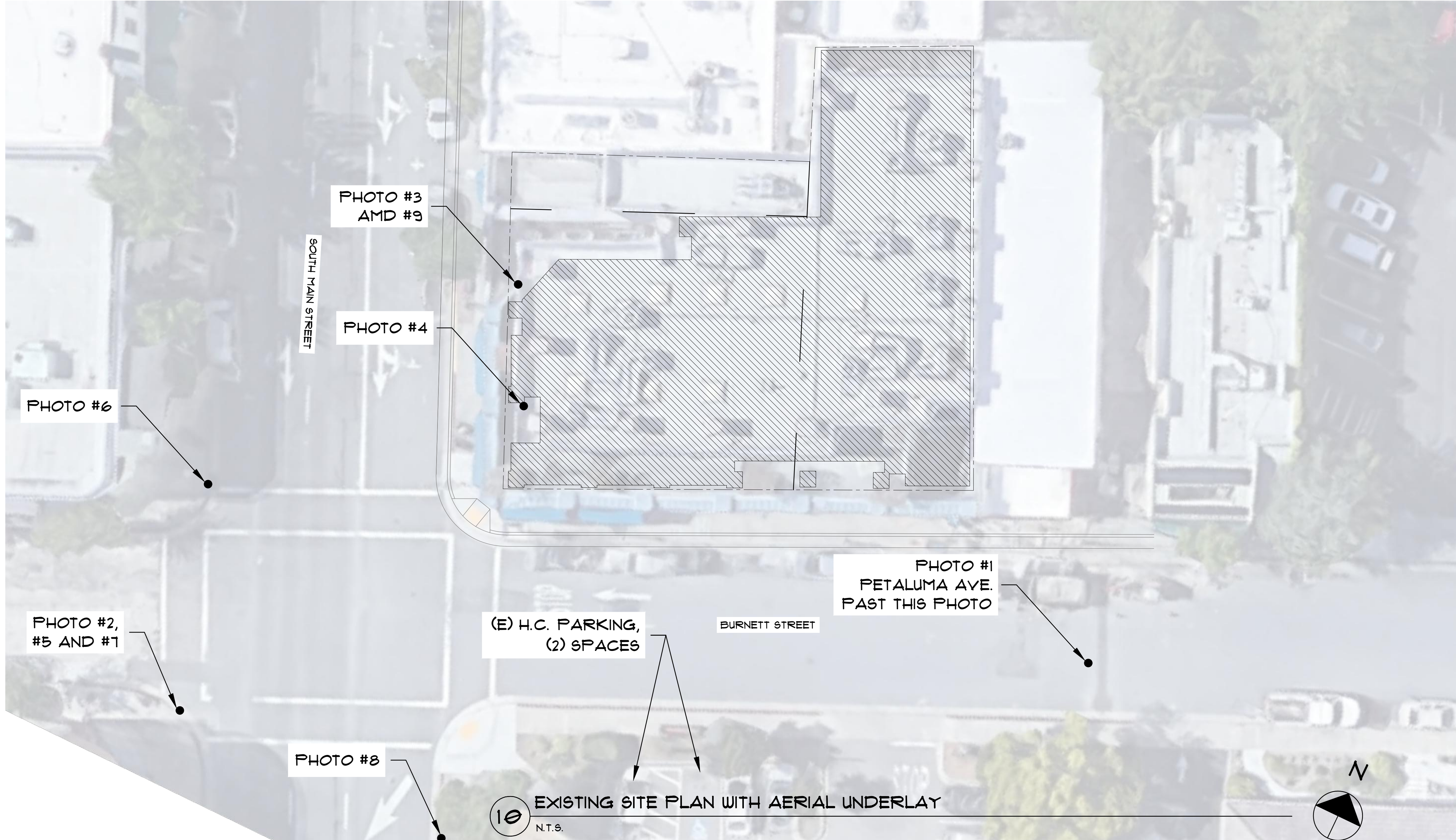
7 PANORAMIC LOOKING NORTH AND EAST



8 FROM BURNETT STREET LOOKING NORTH TOWARD BODEGA AVE./HWY. 12



9 FROM PROJECT ENTRY LOOKING SOUTH WEST ACROSS S. MAIN



**Builders' Studio**  
OF SEBASTOPOL  
555 SO. MAIN STREET SUITE 1  
SEBASTOPOL, CALIFORNIA 95472  
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CSL: 878243

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			

**THE BEALE GROUP**  
**THE LIVERY PROJECT**

135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

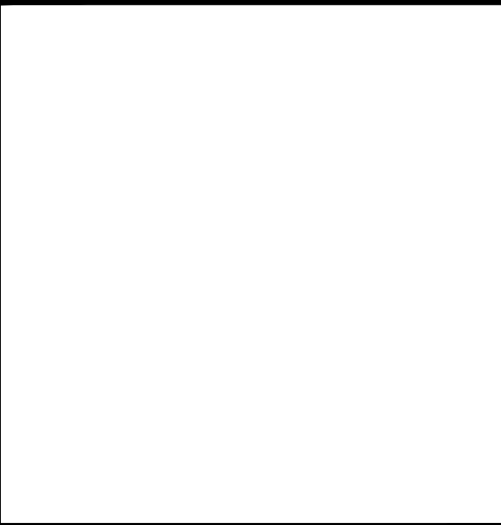
SITE PHOTOS

SHEET  
**A0.3**

PDF DATE 10/21/20

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			

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040-054-020



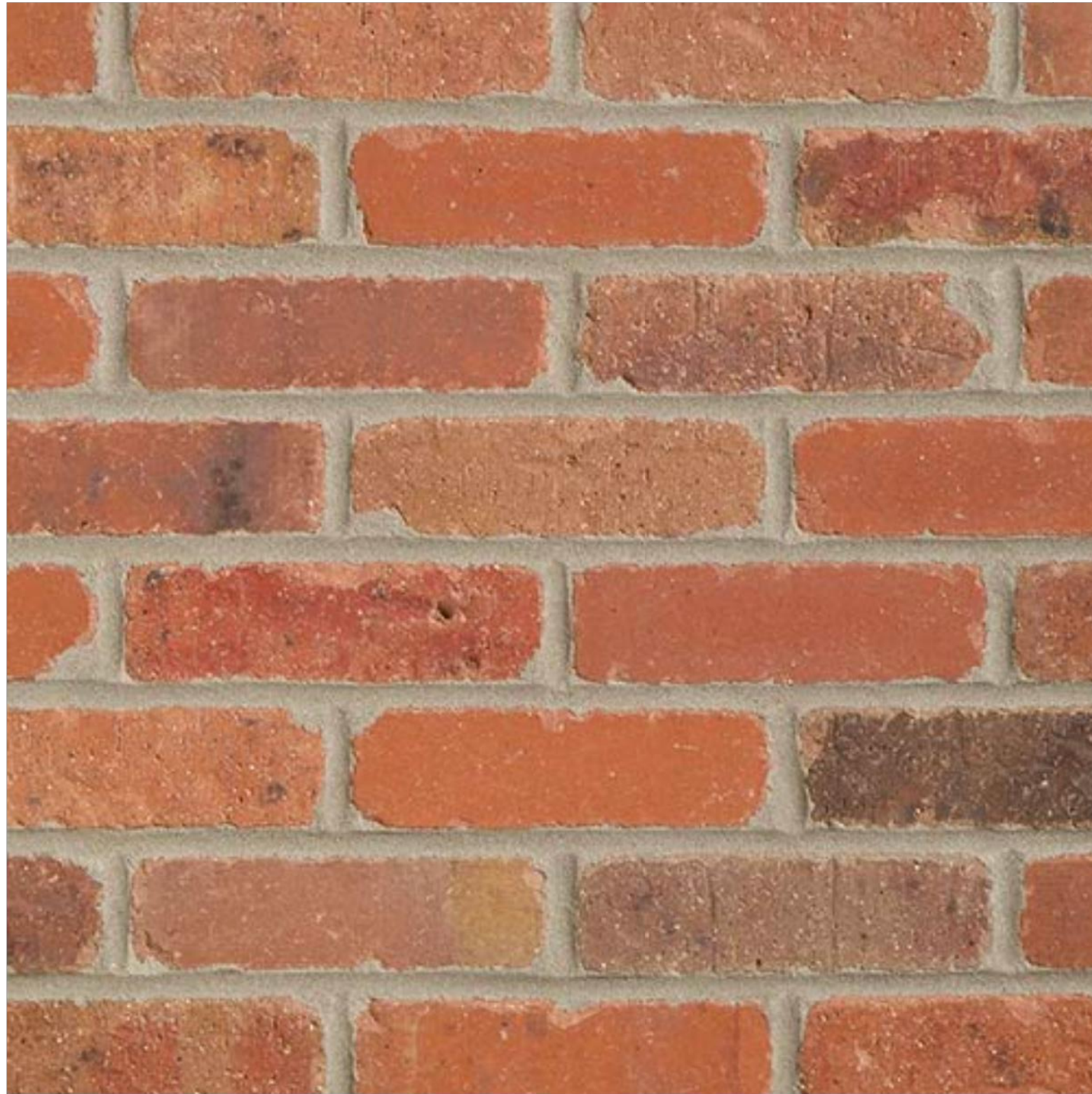
MATERIAL BOARD

SHEET  
**A0.4**

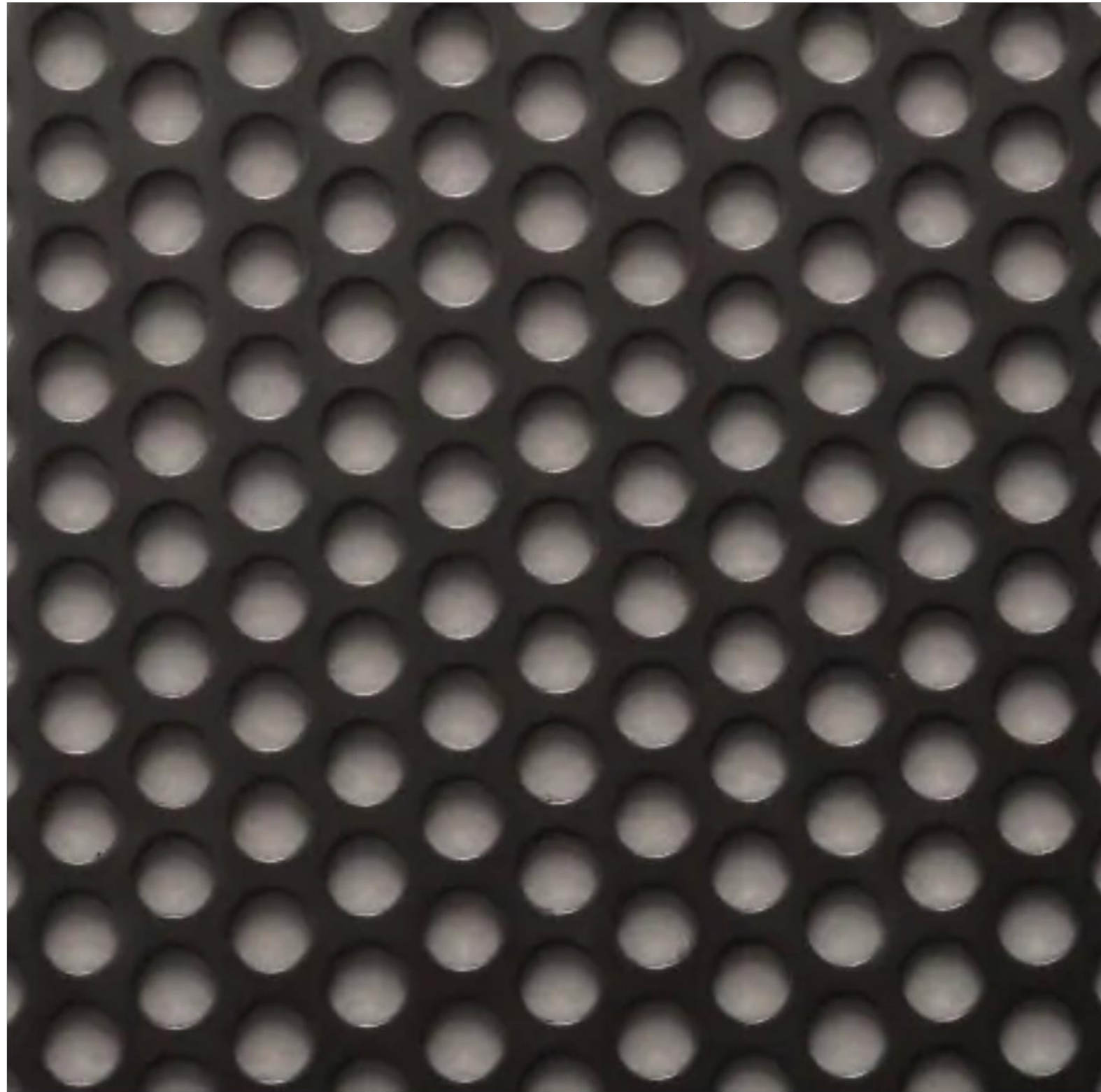
PDF  
DATE 10/21/20



Stucco - Smooth  
Color: DE6384 Iron Fixture



Thin Brick Cladding



Perforated Metal @ Railing  
Color: DEA187 Black



Cedar Siding  
Color: Clear Finish

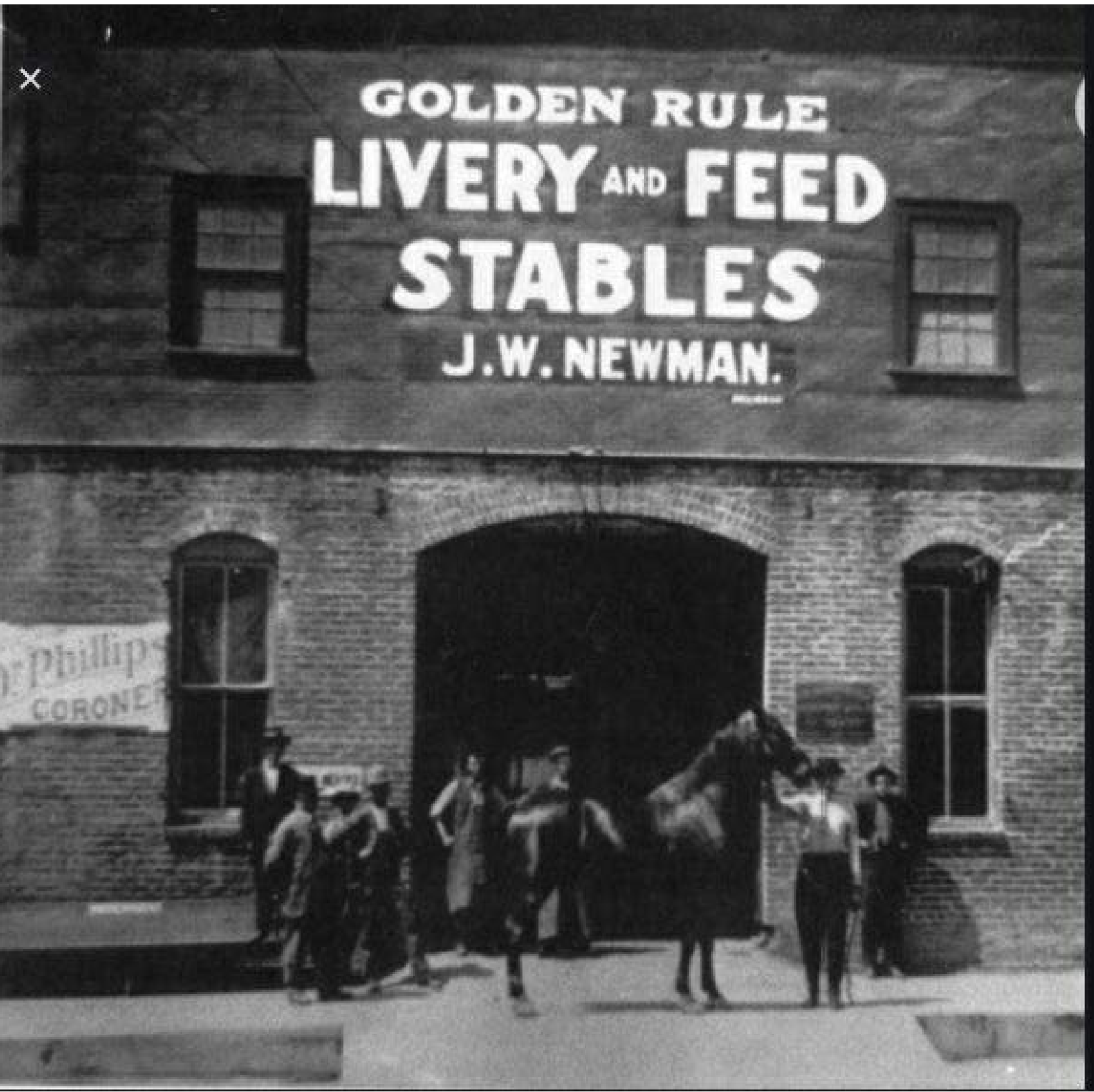
09.10.2020

The Livery On Main

**COMMON STANDARD**  
COSTA MESA, CA 714.552.8280  
www.commonstandard.com



IMAGE IN PROGRESS - NOT FINAL

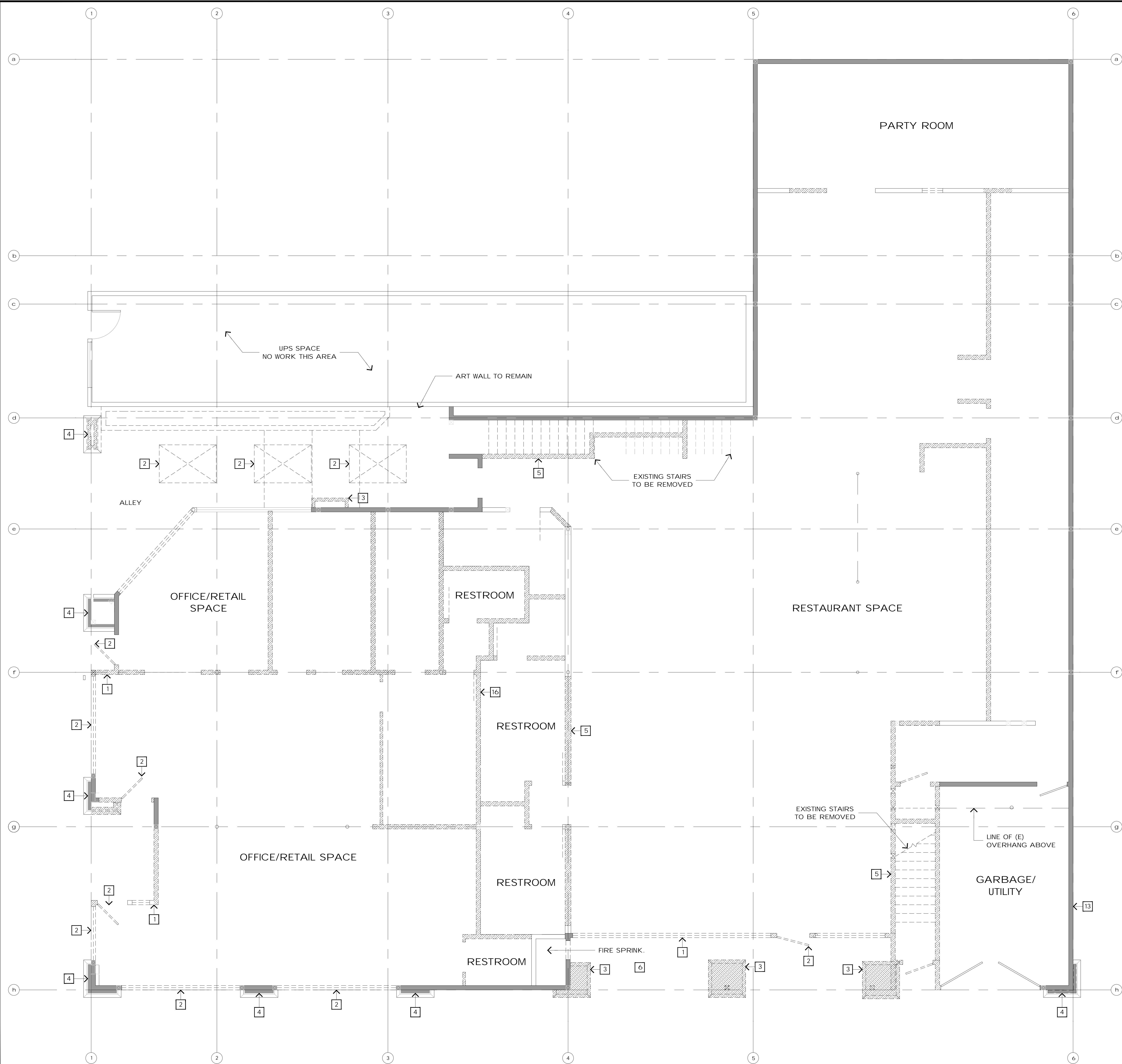


PRE-EXISTING ON SITE  
BURNETT STREET AND S. MAIN STREET  
CIRCA 1890



IMAGE IN PROGRESS - NOT FINAL

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			



SHEET NOTES:

1. interior walls labeled to be removed are shown for clarity of existing use. some were not in place at purchase of building or were removed per demo per mit.

KEY NOTES:

1	ext. wall/parapet to be removed
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	COLUMN & CONC. BASE TO REMAIN
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	10/28/20	LANDSCAPE SUPPLEMENTAL			

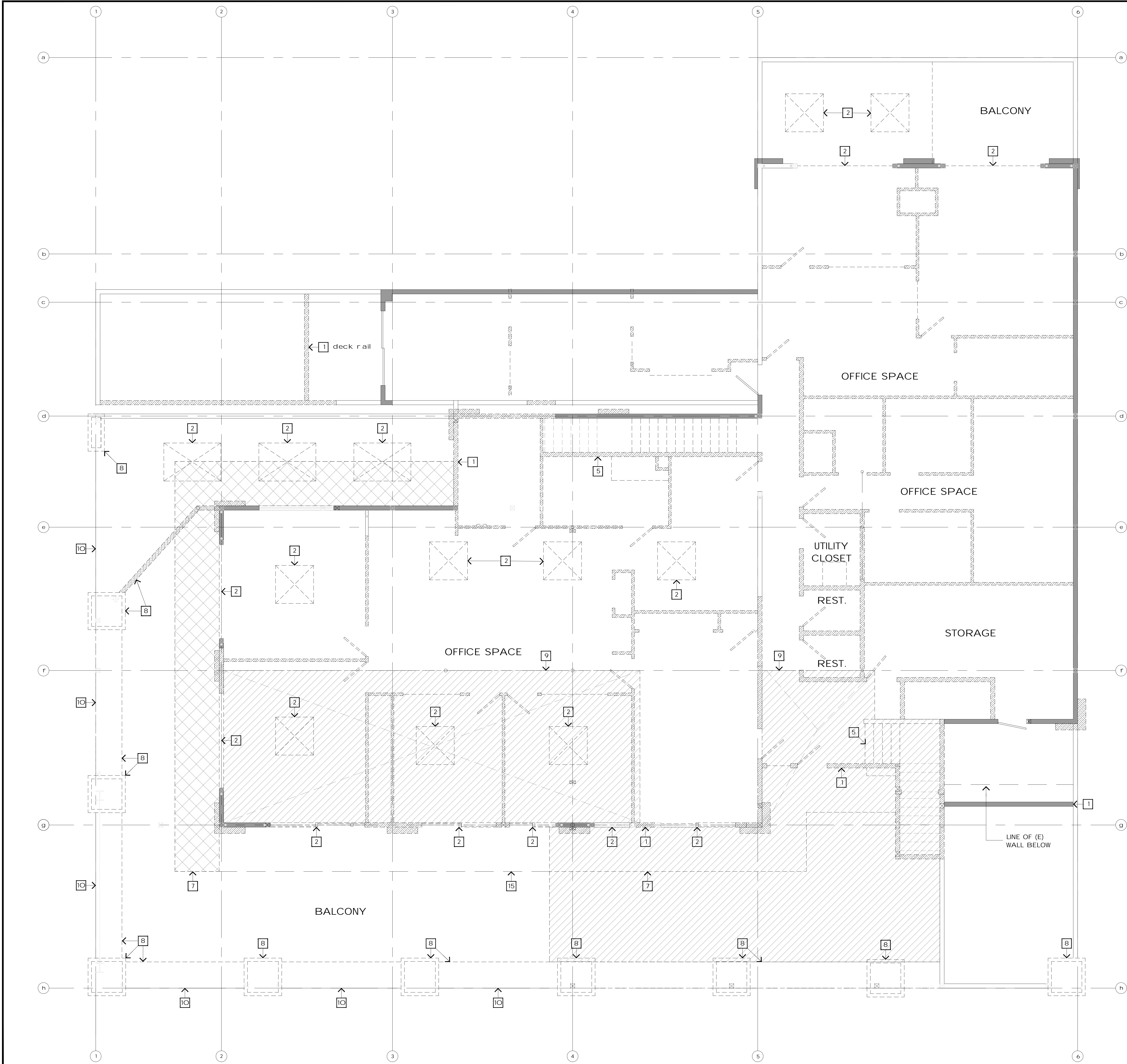
THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

EXISTING and demo  
fir st LEVEL plan

Sheet  
a1.1

PDF  
DATE 10/28/20

1 EXISTING & DEMOLITION FIRST LEVEL PLAN  
SCALE: 1/8" = 1'-0"



SHEET NOTES:

- interior walls labeled to be removed are shown for clarity of existing use, some were not in place at purchase of building or were removed per demo per mit.

KEY NOTES:

- |    |  |
|----|--|
| 1  | ext. wall/parapet to be removed          |
| 2  | SKYLIGHT/WINDOW/DOOR TO BE REMOVED       |
| 3  | COLUMN & CONC. BASE TO BE REMOVED        |
| 4  | EXT. FINISH TO BE REMOVED                |
| 5  | INT. WALL/STAIRS/DOOR TO BE REMOVED      |
| 6  | LANDSCAPE AREA TO BE REMOVED             |
| 7  | SOFFIT/OVERHANG TO BE REMOVED            |
| 8  | METAL ROOF/WALL/COLUMN CAP TO BE REMOVED |
| 9  | FLOOR TO BE REMOVED                      |
| 10 | EXTERIOR WALL/PARAPET TO REMAIN          |
| 11 | SKYLIGHT/WINDOW/DOOR TO REMAIN           |
| 12 | COLUMN & CONC. BASE TO REMAIN            |
| 13 | EXT. FINISH TO REMAIN                    |
| 14 | LANDSCAPE AREA/PLANTER TO REMAIN         |
| 15 | SOFFIT/OVERHANG TO REMAIN                |
| 16 | LINE OF (E) FLOOR LEVEL CHANGE           |

LEGEND:

- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED
- FLOOR TO BE REMOVED
- OVERHANG ABOVE TO BE REMOVED

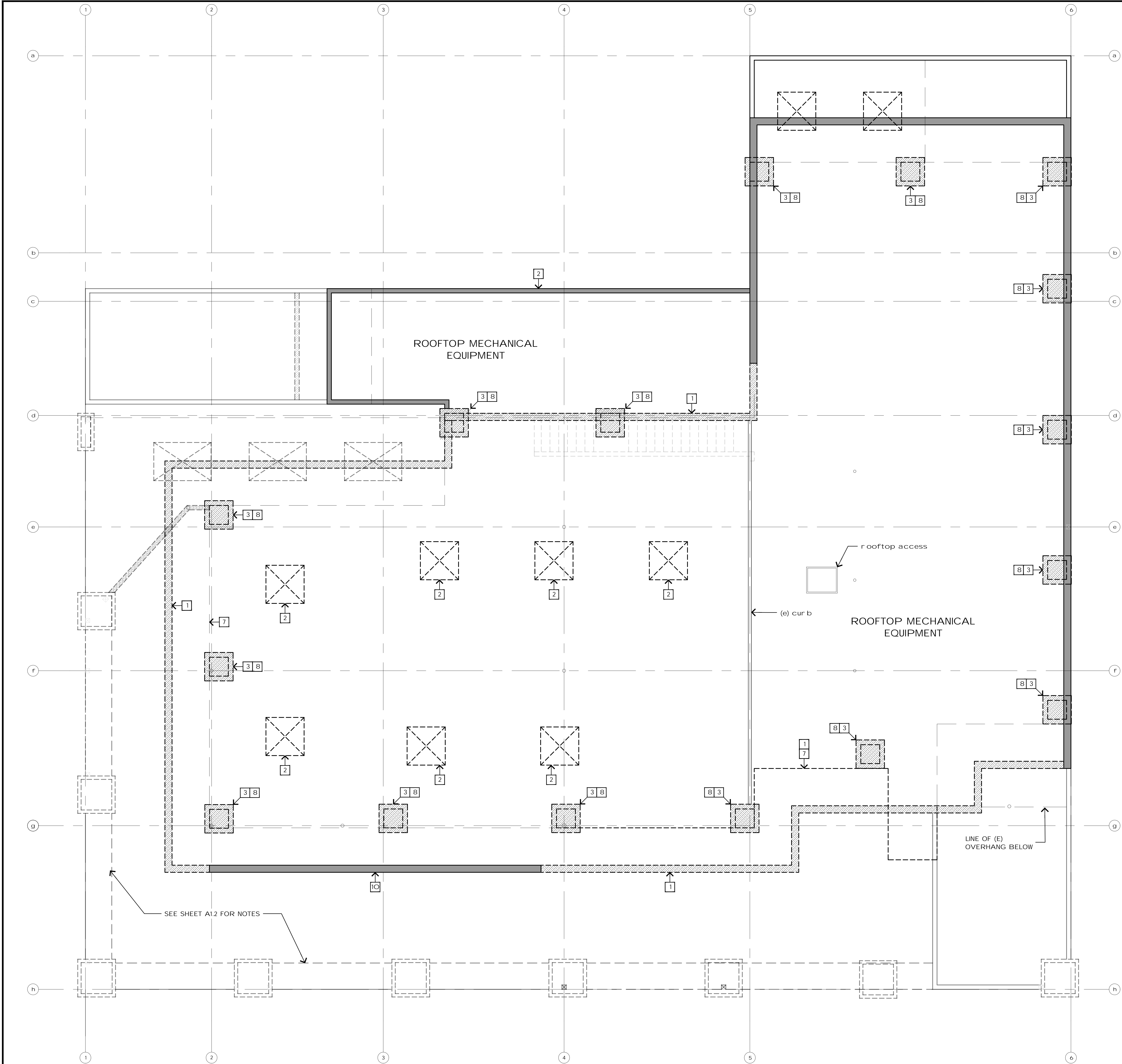
REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			

THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
O4O-O54-O2O

EXISTING and demo  
SECOND LEVEL plan

Sheet  
a1.2

PDF  
DATE 10/21/20



SHEET NOTES:

1. interior walls labeled to be removed are shown for clarity of existing use, some were not in place at purchase of building or were removed per demo permit.

KEY NOTES:

1	ext. wall/parapet to be removed
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	COLUMN & CONC. BASE TO REMAIN
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

- PARAPET WALL TO REMAIN
- INT. WALL TO REMAIN
- PARAPET WALLS TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED

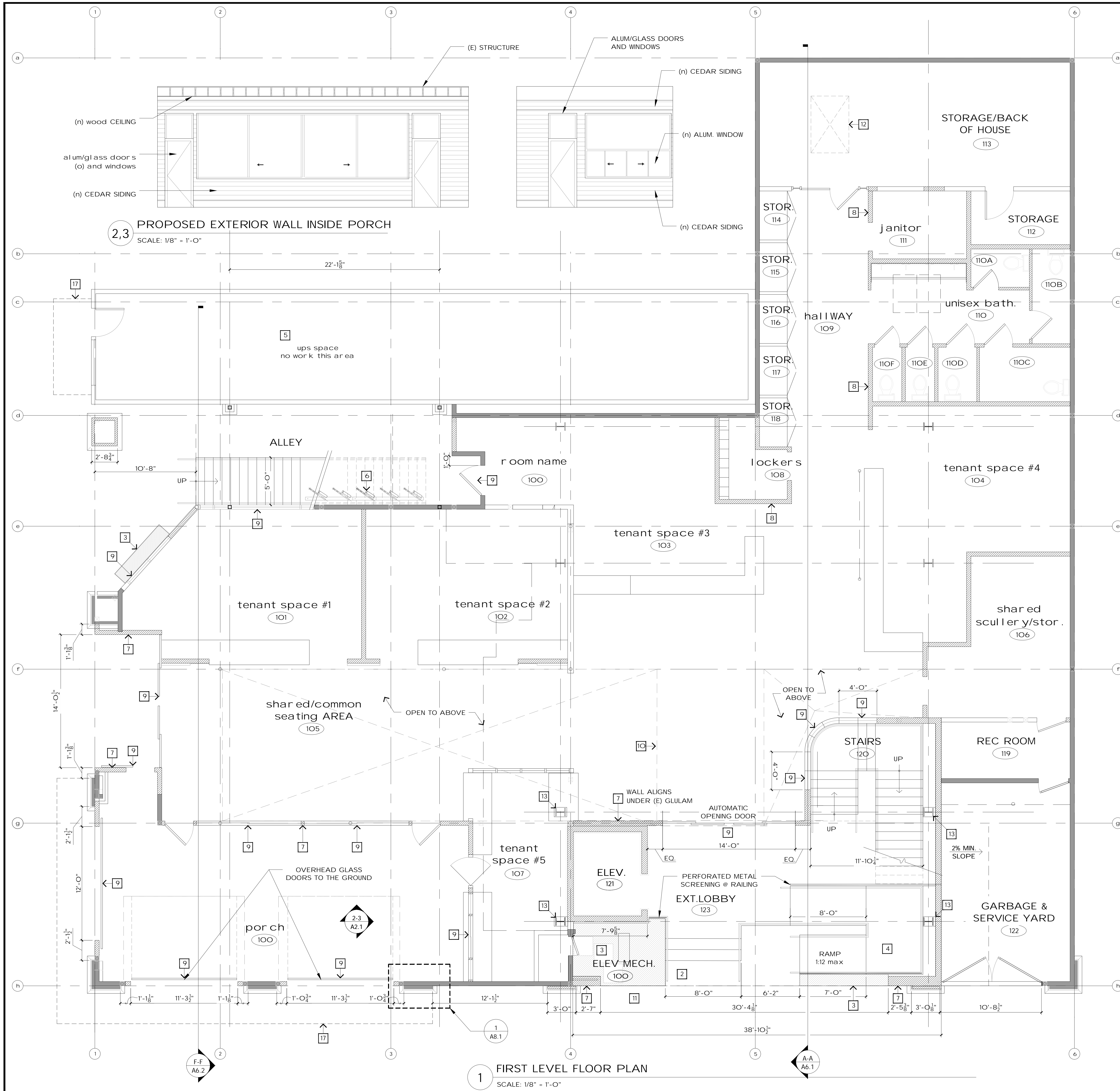
REV	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
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	10/21/20	RESUBMITTAL - ROOF UPDATE			

THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
O4O-O54-O2O

EXISTING AND DEMO  
THIRD LEVEL plan

Sheet  
**a1.3**

PDF  
DATE 10/21/20

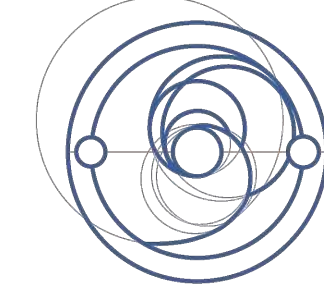


**SHEET NOTES:**

1. interior PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN T1 BUILDING PERMIT SET.

KEY NOTES:			
1	PROPERTY LINE		
2	SITE PAVING		
3	PLANTER/LANDSCAPE AREA		
4	RAMP		
5	(E) BUILDING - NO WORK		
6	BICYCLE RACK		
7	(N) EXT. WALL		
8	(N) INT. WALL		
9	(N) WINDOW/DOOR/OVERHEAD DOOR		
10	LINE OF WALL ABOVE		
11	CITY SIDEWALK		
12	(N) SKYLIGHT		
13	(N) STEEL COLUMN		
14	(N) PARAPET		
15	(N) STEEL RAILING		
16	(N) GATE		
17	(N) AWNING		

LEGEND:	
	EXT. WALL TO REMAIN
	INT. WALL TO REMAIN
	NEW WALLS



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			RESUBMITTAL - ROOF UPDATE	10/21/20	
			LANDSCAPE SUPPLEMENTAL	10/28/20	

**THE BEALE GROUP**  
**THE LIVERY PROJECT**

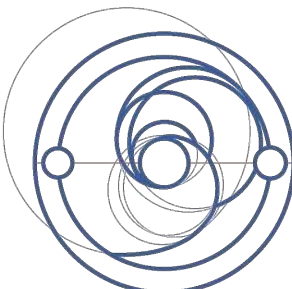
135 S. MAIN  
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040-O54-O20

first LEVEL  
floor plan

Sheet  
**a2.1**

PDF  
DATE

10/28/20



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#### SHEET NOTES:

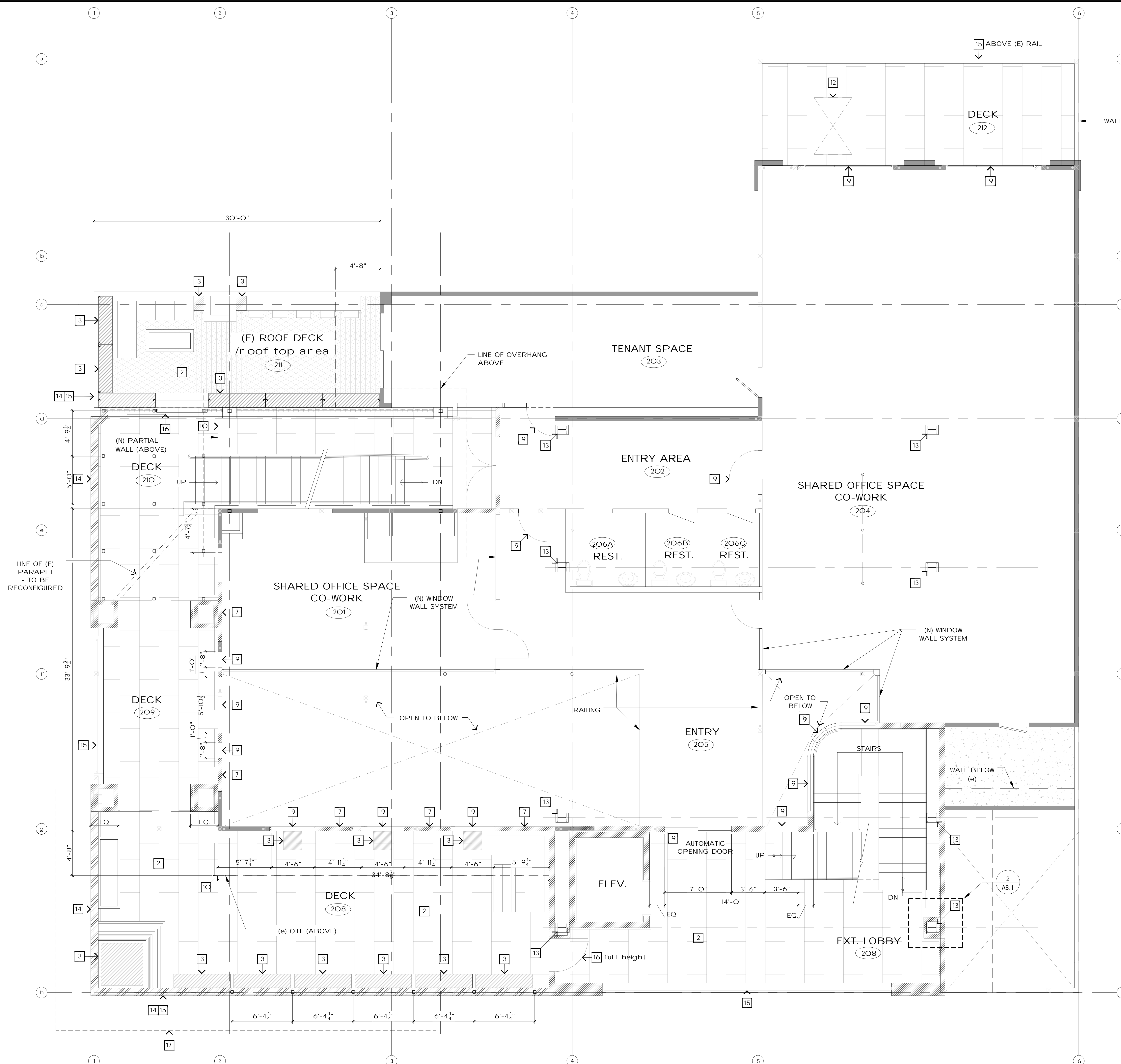
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FINAL PLAN WILL BE SHOWN IN T1 BUILDING PERMIT  
SET.

#### KEY NOTES:

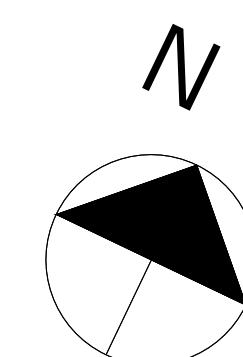
- |    |                               |
|----|-------------------------------|
| 1  | PROPERTY LINE                 |
| 2  | SITE PAVING                   |
| 3  | PLANTER/LANDSCAPE AREA        |
| 4  | RAMP                          |
| 5  | (E) BUILDING - NO WORK        |
| 6  | BICYCLE RACK                  |
| 7  | (N) EXT. WALL                 |
| 8  | (N) INT. WALL                 |
| 9  | (N) WINDOW/DOOR/OVERHEAD DOOR |
| 10 | LINE OF WALL ABOVE            |
| 11 | CITY SIDEWALK                 |
| 12 | (N) SKYLIGHT                  |
| 13 | (N) STEEL COLUMN              |
| 14 | (N) PARAPET                   |
| 15 | (N) STEEL RAILING             |
| 16 | (N) GATE                      |
| 17 | (N) AWNING                    |

#### LEGEND:

- |  |                     |
|--|---------------------|
|  | EXT. WALL TO REMAIN |
|  | INT. WALL TO REMAIN |
|  | NEW WALLS           |
|  | NEW PARAPET         |



1 SECOND LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



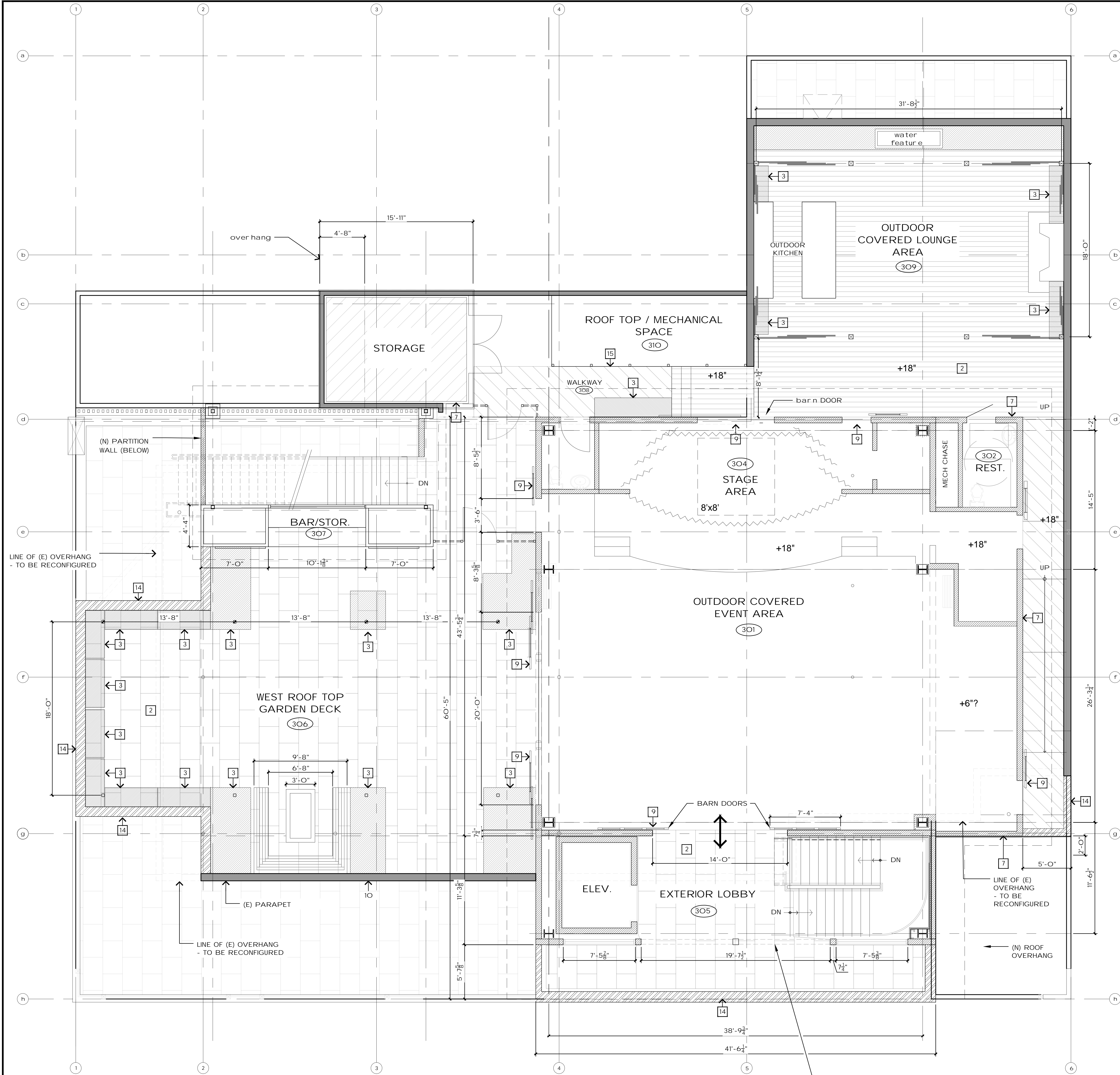
## THE BEALE GROUP THE LIVERY PROJECT

135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

SECOND LEVEL  
floor plan

Sheet  
**a2.2**

PDF  
DATE 10/28/20



**SHEET NOTES:**

1. interior PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN T1 BUILDING PERMIT SET.

KEY NOTES:	
1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING

LEGEND:	
	EXT. PARAPET TO REMAIN
	NEW WALLS
	NEW PARAPET

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**THE BEALE GROUP**  
**THE LIVERY PROJECT**  
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O4O-O54-O2O



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	10/21/20	RESUBMITTAL - ROOF UPDATE			

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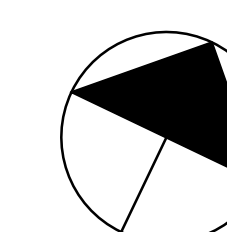
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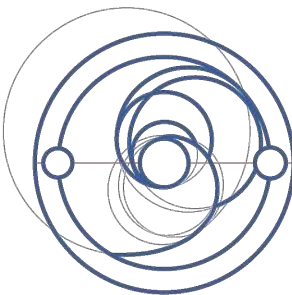
PDF DATE	10/21/20
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1. interior PLAN LAYOUT IS SHOWN FOR REFERENCE.  
FINAL PLAN WILL BE SHOWN IN T1 BUILDING PERMIT  
SET

KEY NOTES:	
1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING

1 THIRD LEVEL ROOF PLAN  
SCALE: 1/8" = 1'-0"





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THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
O4O-O54-O2O

EXISTING  
ELEVATIONS

Sheet  
**a5.1**

PDF  
DATE 10/21/20



1 EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

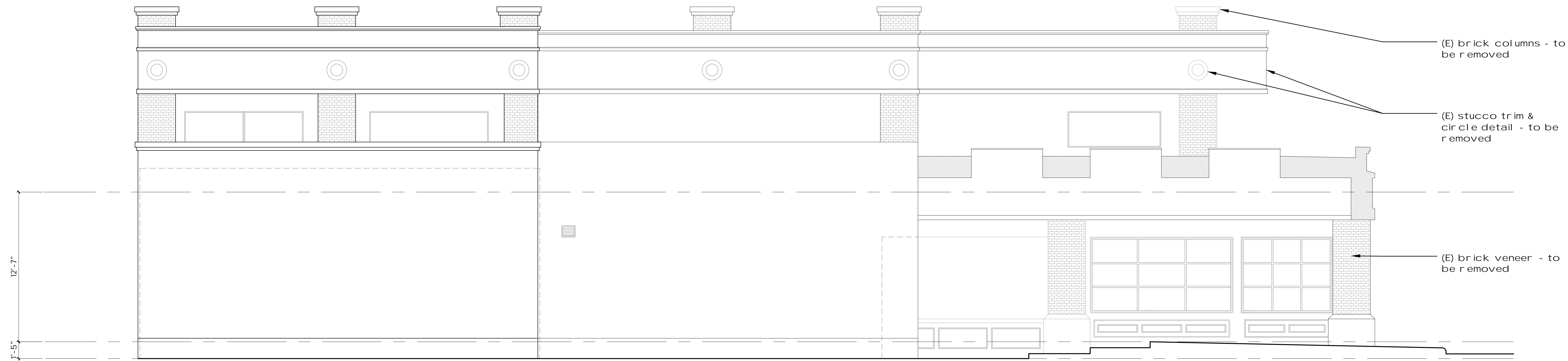
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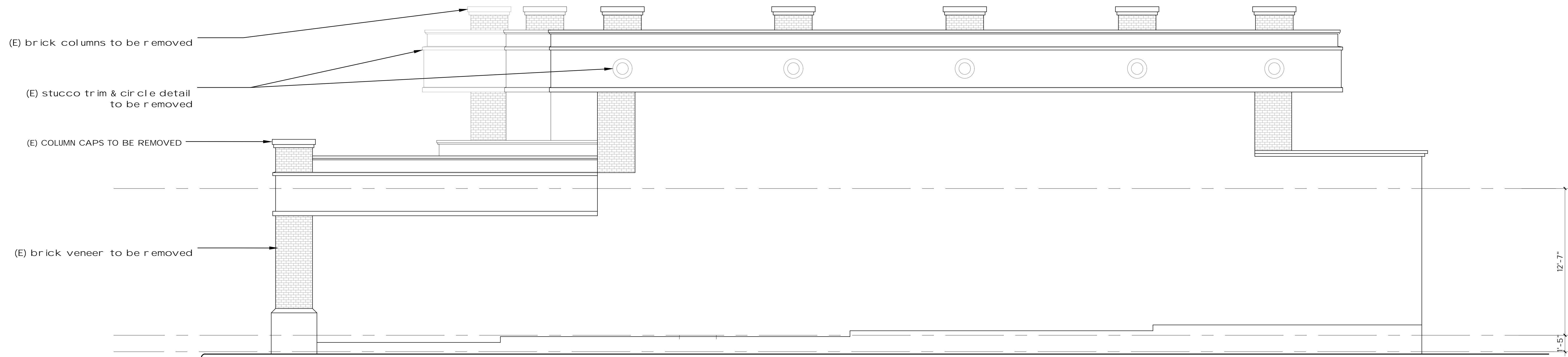
EXISTING  
ELEVATIONS

Sheet  
a5.2

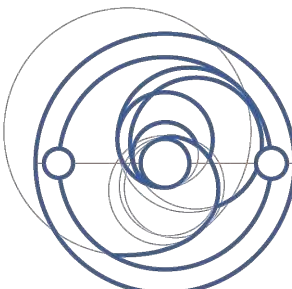
PDF  
DATE 10/21/20



1 EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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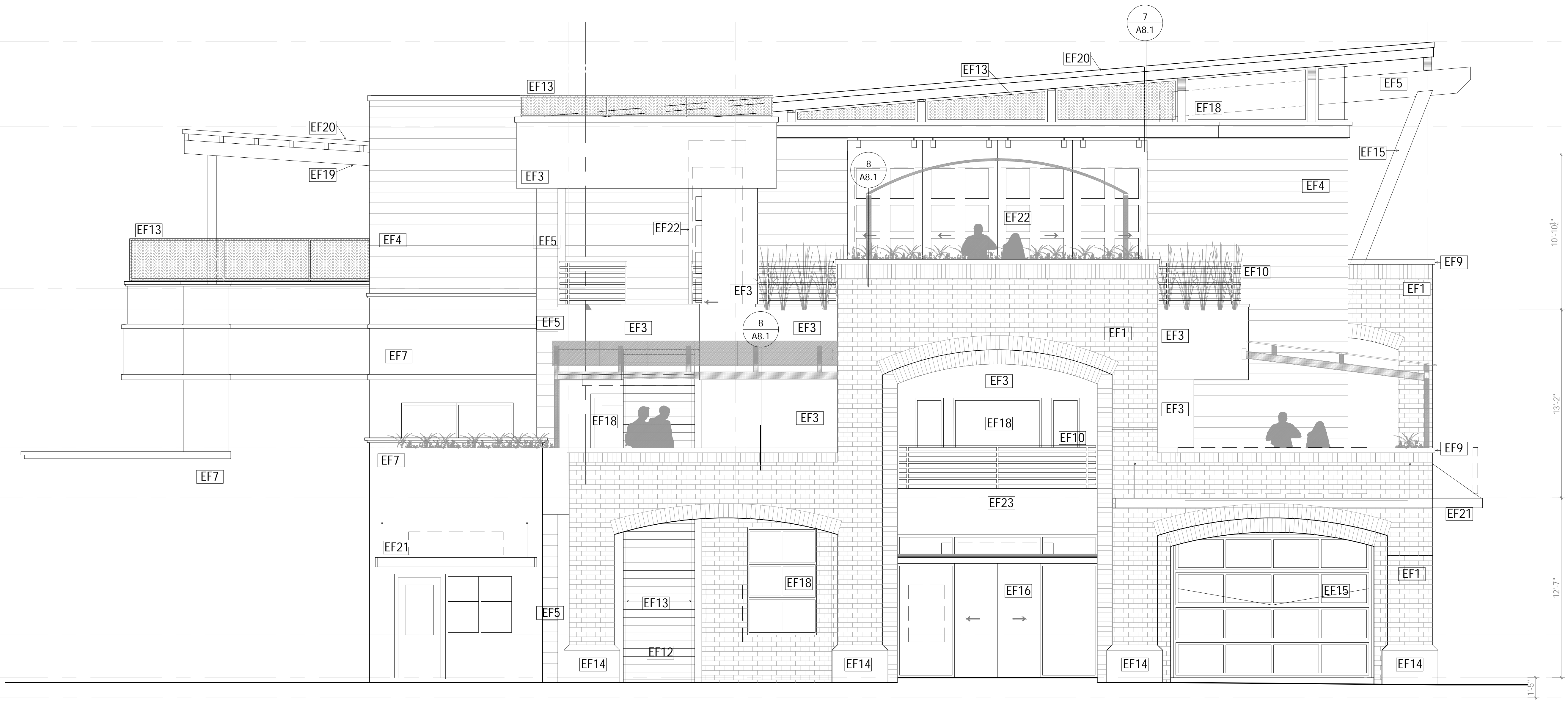
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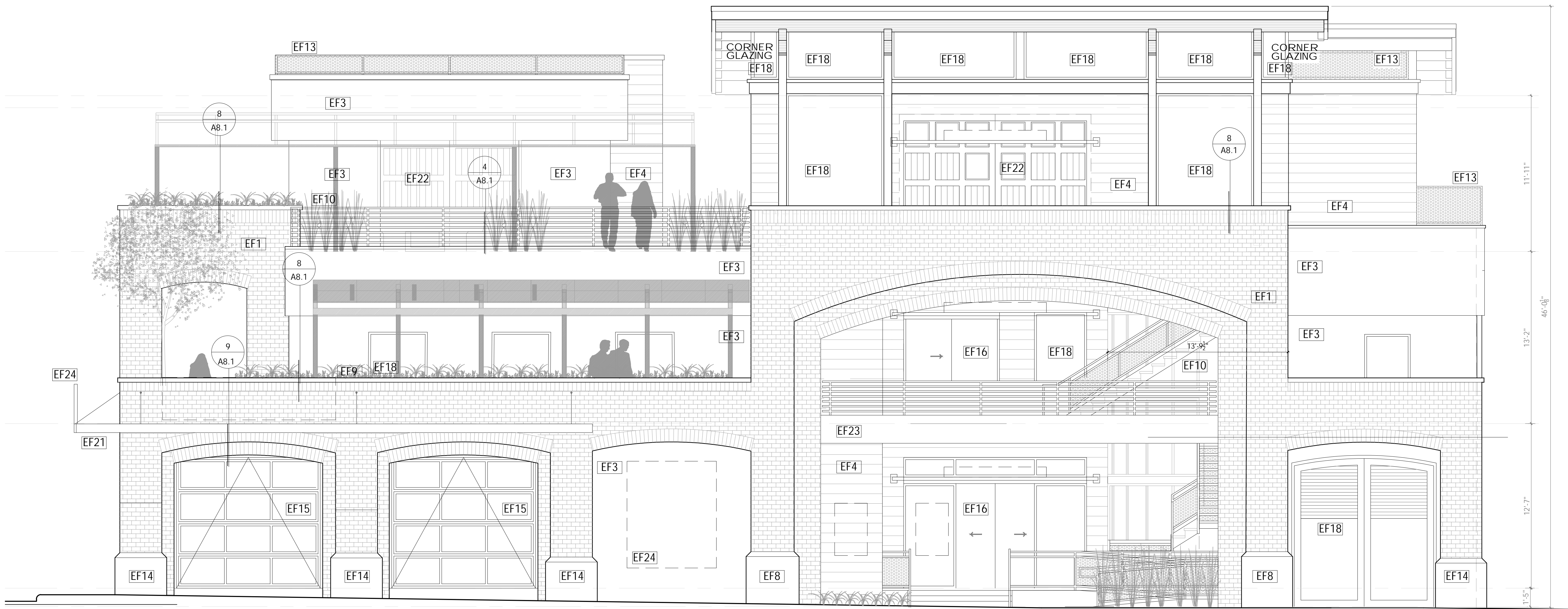
## key notes:

### Exterior Finishes:

- EF 1 Brick -- Thin brick
- EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
- EF 3 Stucco -- Three-layer system - Integral color
- EF 4 Cedar Siding -- Clear finish
- EF 5 Wood Trim/Wrap -- Cedar
- EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
- EF 7 Paint -- Paint existing stucco (when accessible)
- EF 8 Concrete
- EF 9 Brick Cap
- EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
- EF 11 Concrete Paving
- EF 12 Cedar stair treads
- EF 13 Perforated Metal
- EF 14 Concrete -- Existing
- EF 15 Overhead glass door
- EF 16 Automatic sliding doors
- EF 17 Bifold glass doors
- EF 18 Door/Window
- EF 19 Cedar Trellis
- EF 20 Roofing
- EF 21 Awning
- EF 22 Barn Doors
- EF 23 Metal - Painted
- EF 24 Signage Location



1 PROPOSED WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

THE BEALE GROUP  
THE LIVERY PROJECT

135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

PROPOSED  
ELEVATIONS

Sheet

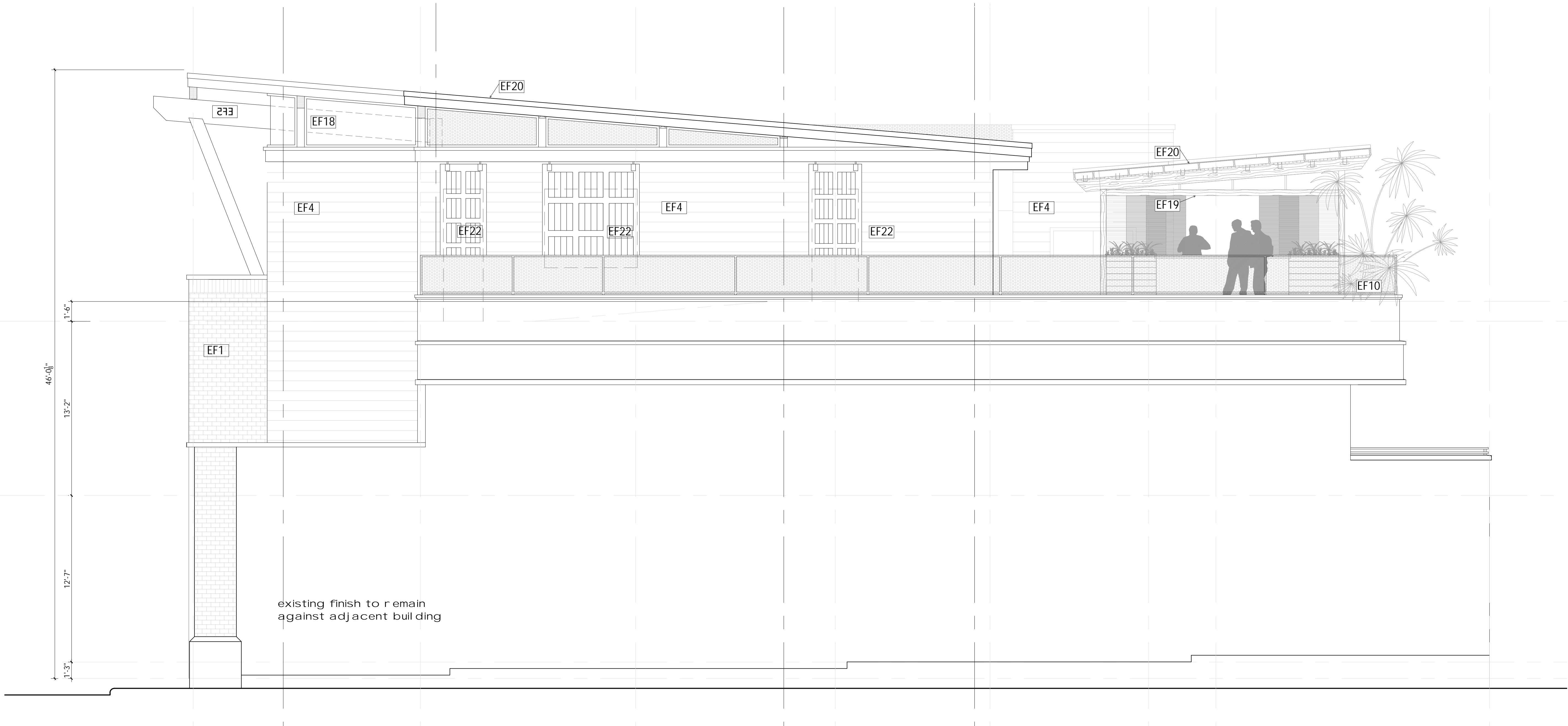
A5.3

PDF  
DATE 10/21/20

key notes:

Exterior Finishes:

- EF 1 Brick -- Thin brick
- EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
- EF 3 Stucco -- Three-layer system - Integral color
- EF 4 Cement board siding - dark grey paint
- EF 5 Wood Trim -- Cedar
- EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
- EF 7 Paint -- Paint existing stucco (when accessible)
- EF 8 Concrete
- EF 9 Brick Cap
- EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
- EF 11 Concrete Paving
- EF 12 Cedar stair treads
- EF 13 Perforated Metal -- Blackish - painted
- EF 14 Concrete -- Existing
- EF 15 Overhead glass door
- EF 16 Automatic sliding doors
- EF 17 Bifold glass doors
- EF 18 Door/Window
- EF 19 Cedar Trellis
- EF 20 Roofing
- EF 21 Awning
- EF 22 Barn Doors
- EF 23 Metal - Painted
- EF 24 Signage Location



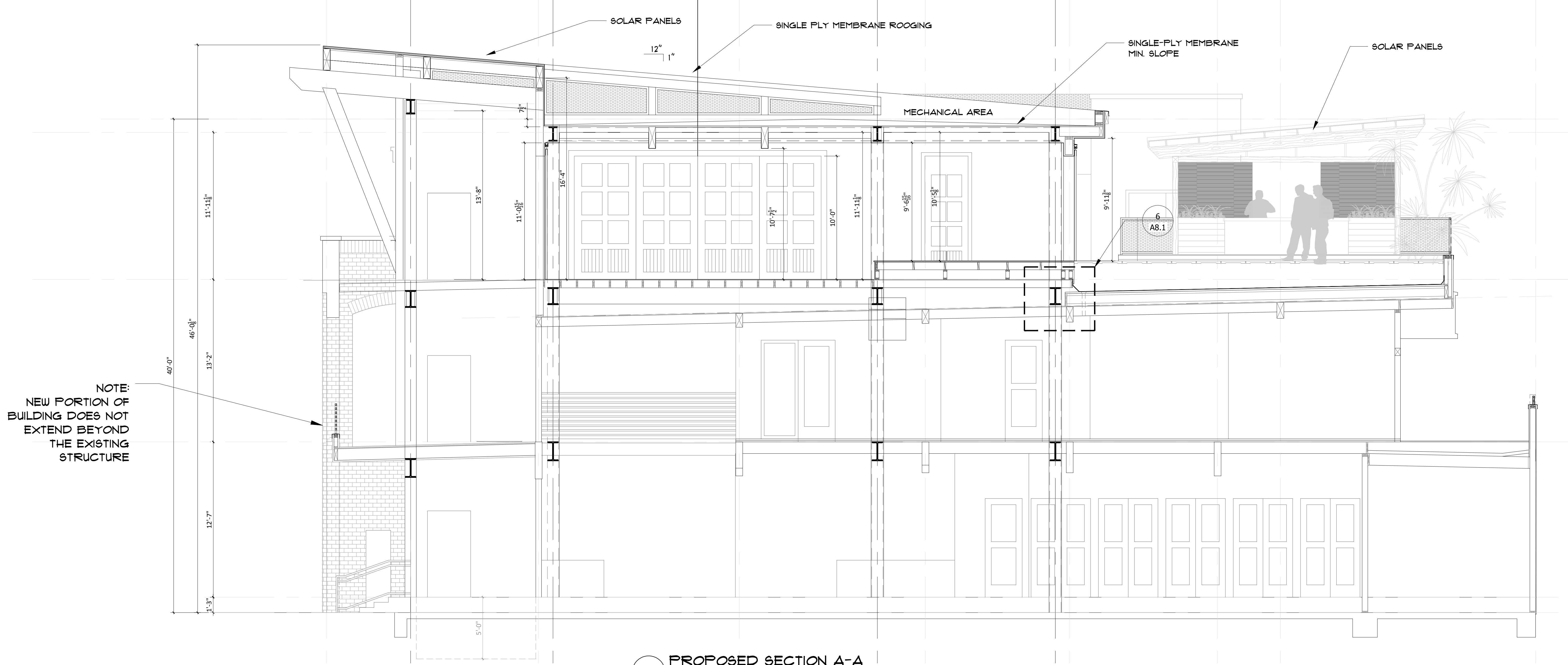
2 PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

THE BEALE GROUP  
THE LIVERY PROJECT  
135 S. MAIN  
SEBASTOPOL, CA 95472  
O4O-O54-O2O

PROPOSED  
ELEVATIONS

Sheet  
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DATE 10/21/20



2 PROPOSED SECTION A-A  
SCALE: 1/8" = 1'-0"

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**THE BEALE GROUP**  
**THE LIVERY PROJECT**  
135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

LARGE STRUCTURAL MEMBERS ARE REQUIRED FOR THE SPAN. STACKING THE PERPENDICULAR MEMBERS CREATED THE DESIGN AND FEATURE OF THE BUILDING - THE RAFTERS

SECOND CRITICAL POINT - ELEVATOR MINIMUM CLEARANCE - 13'-8" (KONE ELEVATOR 3500LB CAPACITY)

MINIMUM SLOPED ROOF/PARAPET (BEYOND)

(N) STEEL STRUCTURE FOR THIRD LEVEL

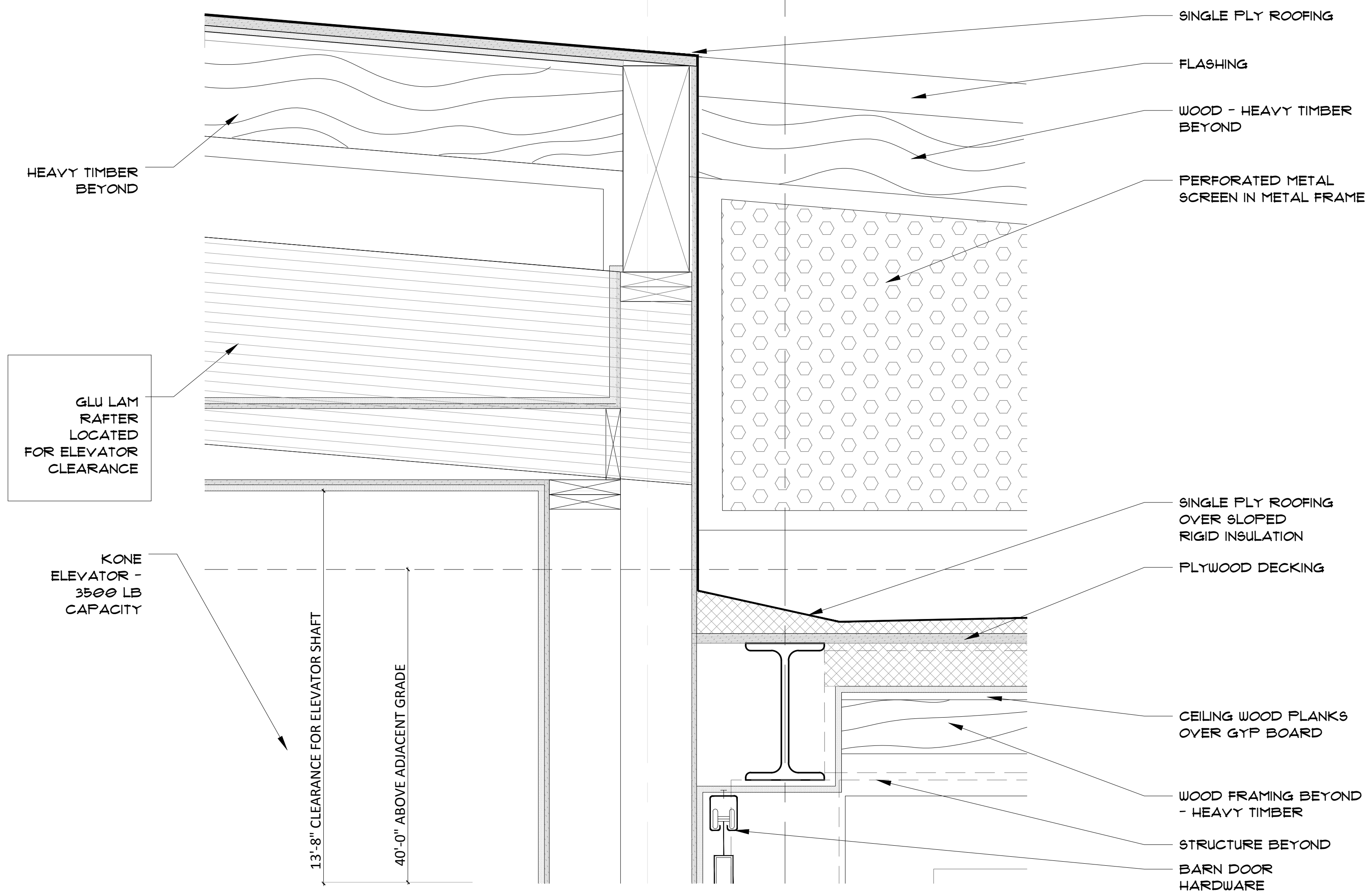
FIRST CRITICAL POINT - MINIMAL DISTANCE BETWEEN EXISTING STRUCTURE AND NEW STRUCTURE SEE DETAIL 2/A6.2

NOTE:  
NEW PORTION OF BUILDING  
DOES NOT EXTEND BEYOND  
THE EXISTING STRUCTURE

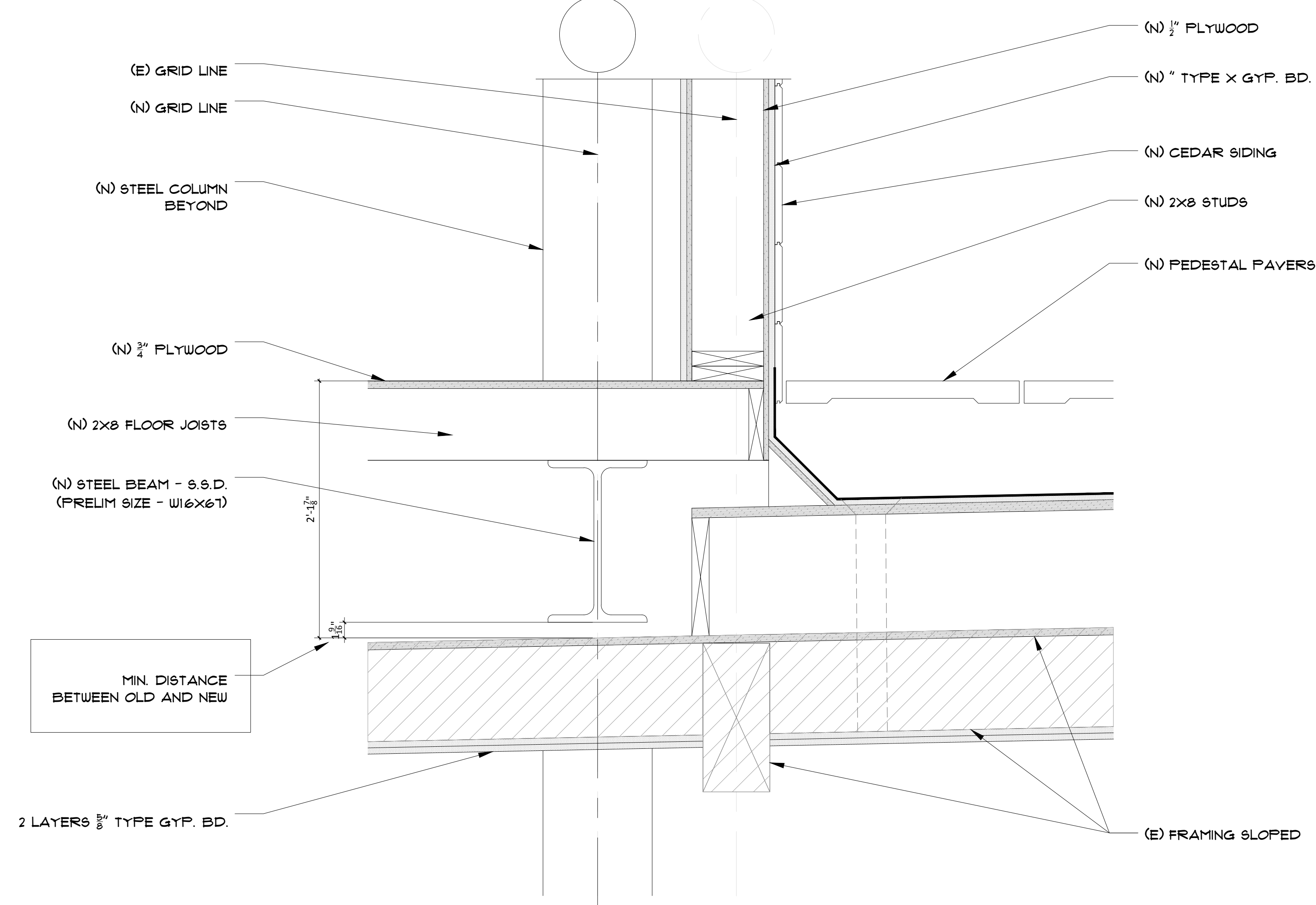
(E) BUILDING SHOWN  
HATCHED

OUTLINE OF (E)  
BLDG SECTION

2 PROPOSED SECTION A-A - COMPARISON OF OLD AND NEW FRAMING  
SCALE: 1/8" = 1'-0"



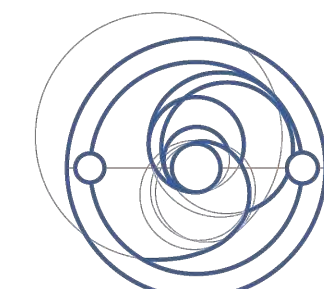
3 TOP OF ELEVATOR - SECOND CRITICAL POINT  
SCALE: 3/4" = 1'-0"



2 (N) FRAMING OVER (E) FRAMING - FIRST CRITICAL POINT  
SCALE: 3/4" = 1'-0"

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	10/21/20	RESUBMITTAL - ROOF UPDATE							

**THE BEALE GROUP**  
**THE LIVERY PROJECT**

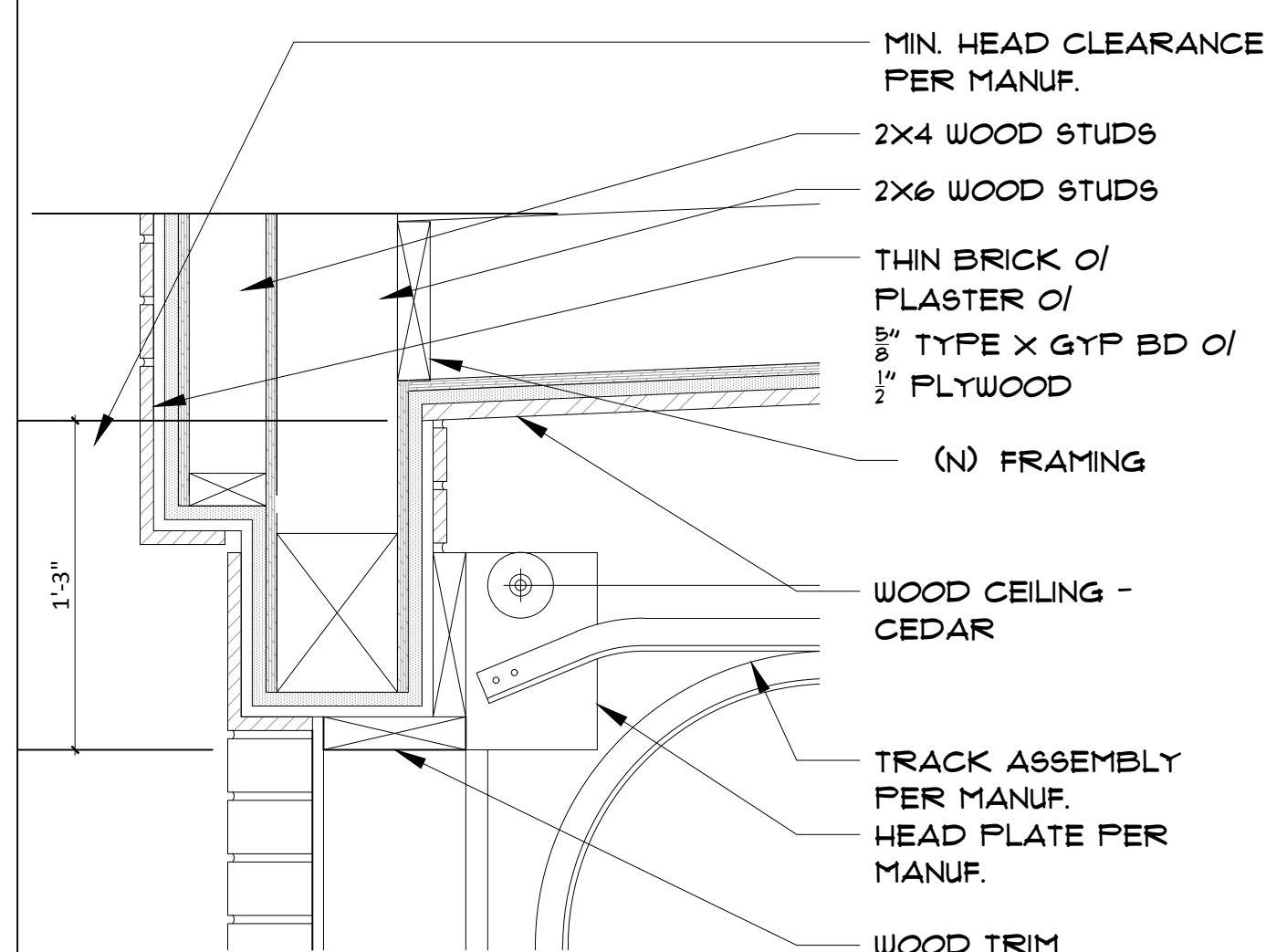
135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

PROPOSED  
ELEVATIONS

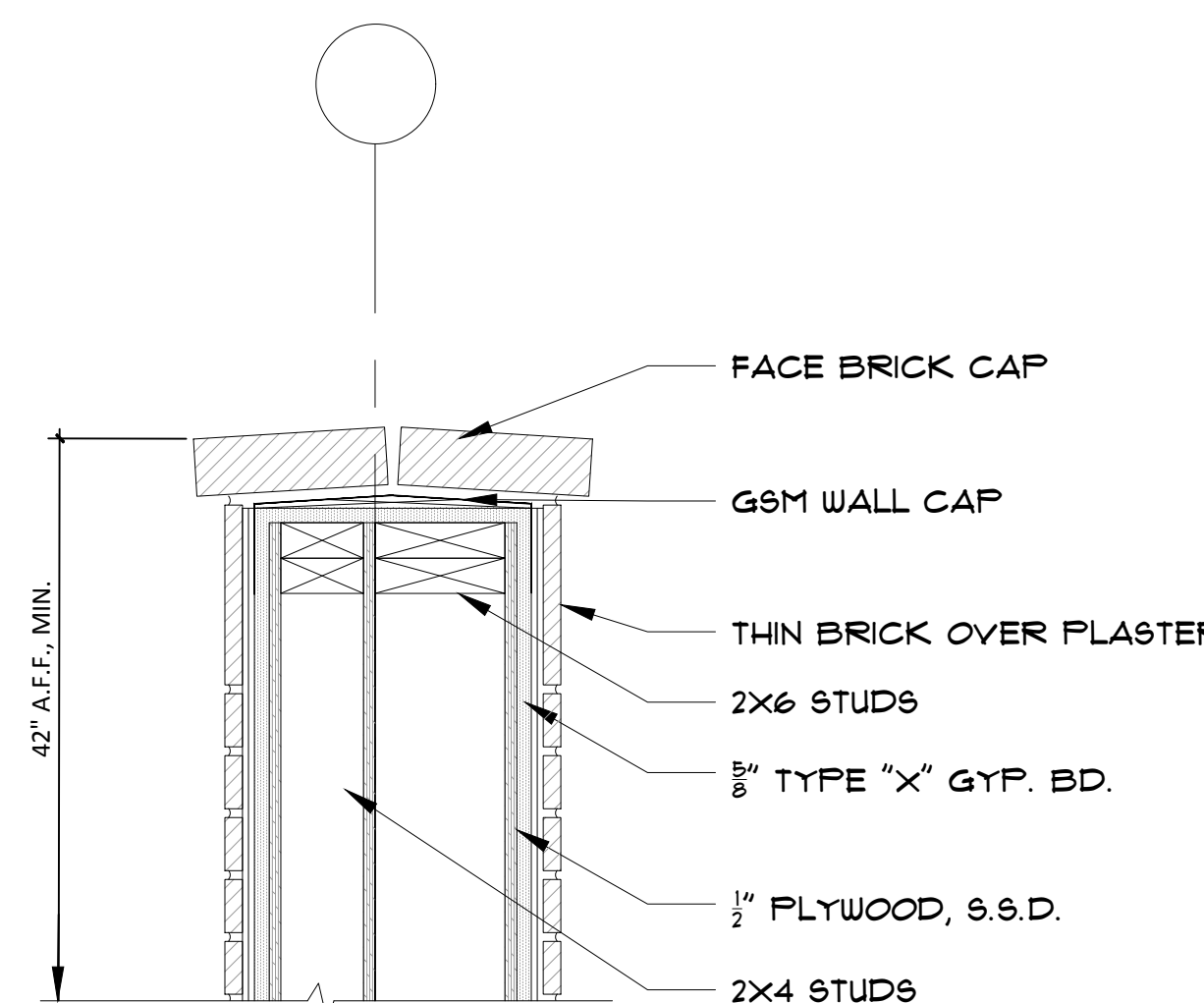
SHEET

**A8.1**

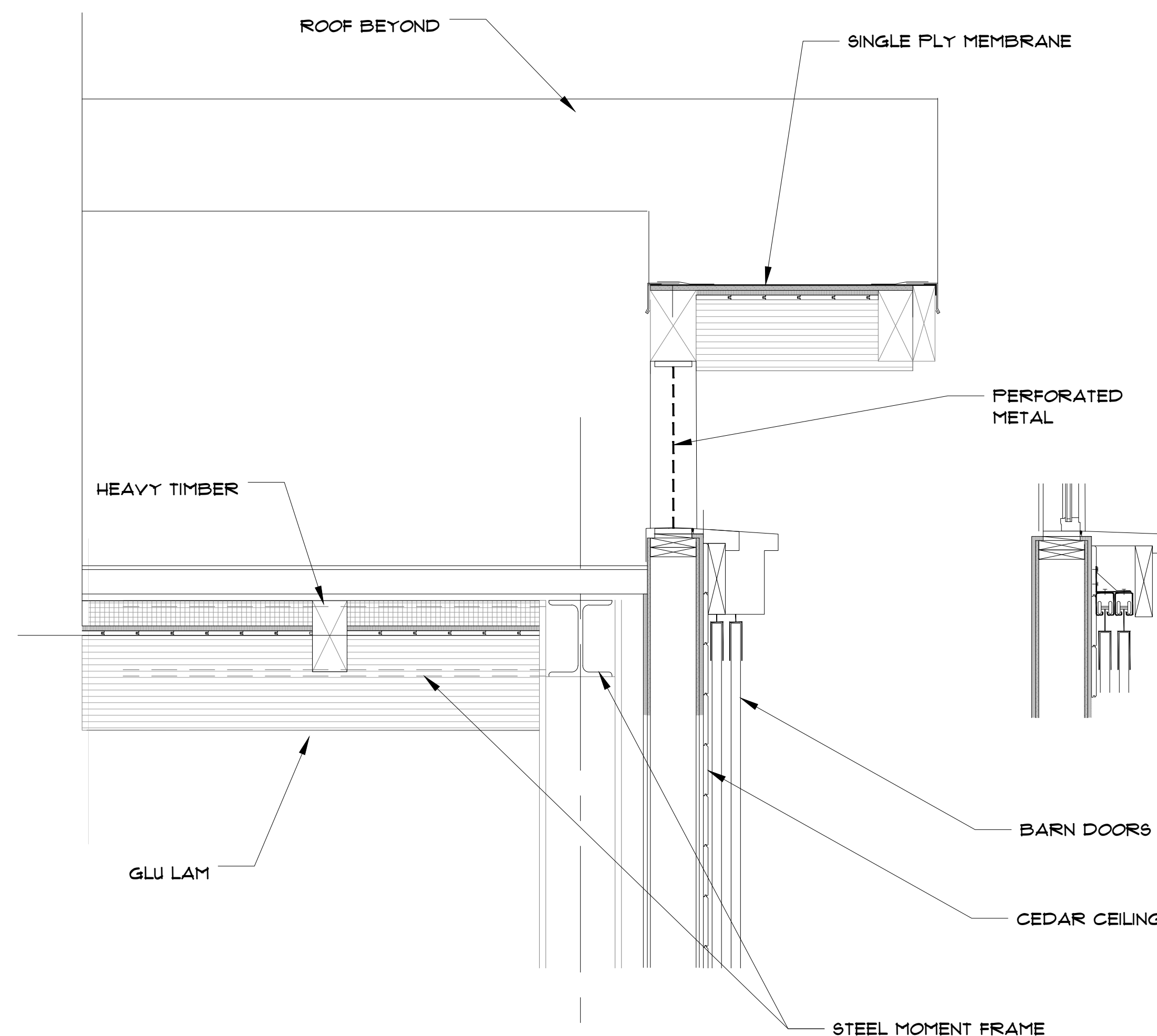
PDF  
DATE 10/21/20



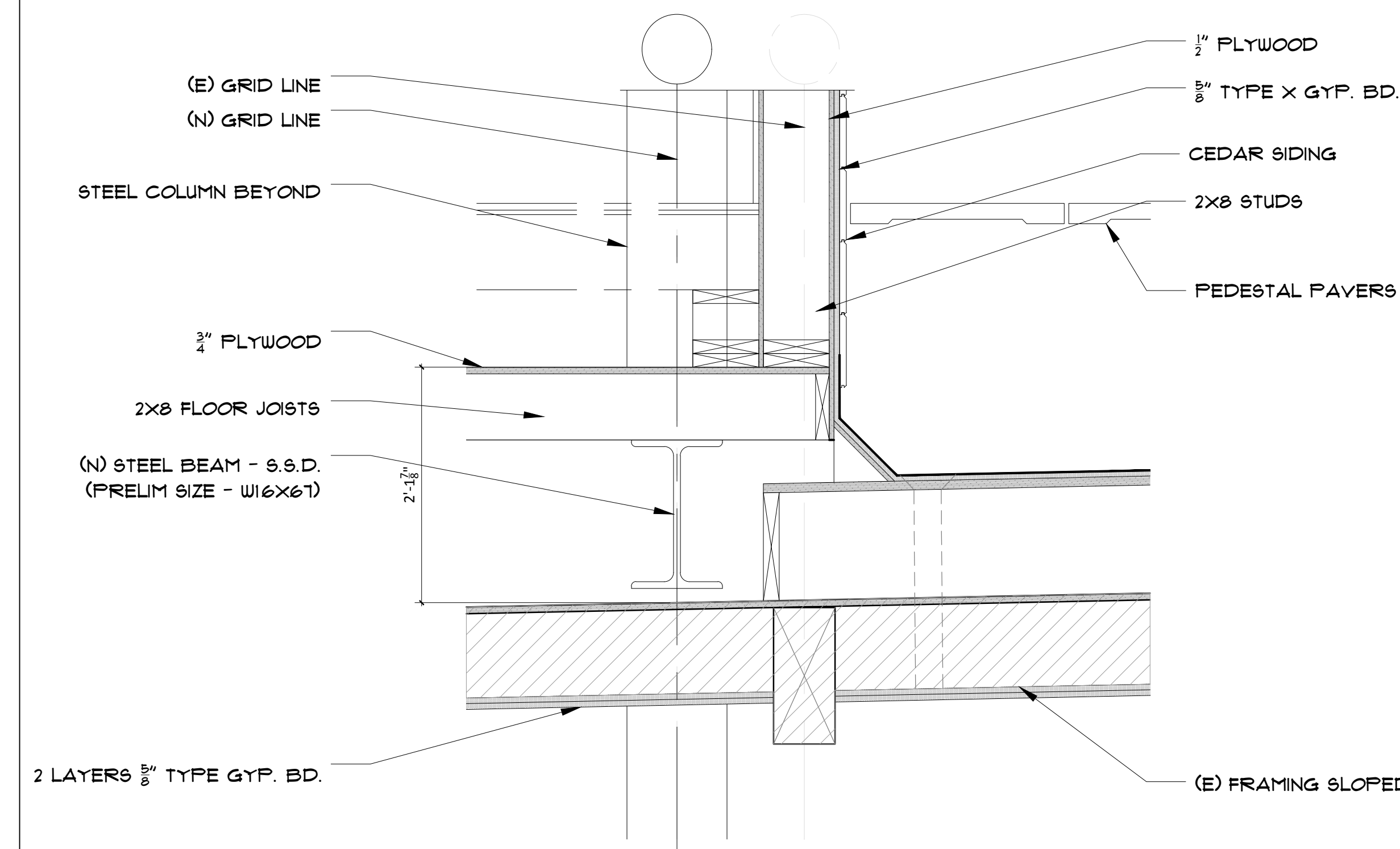
**9 OVERHEAD DOOR HEAD**  
SCALE: 3/4" = 1'-0"



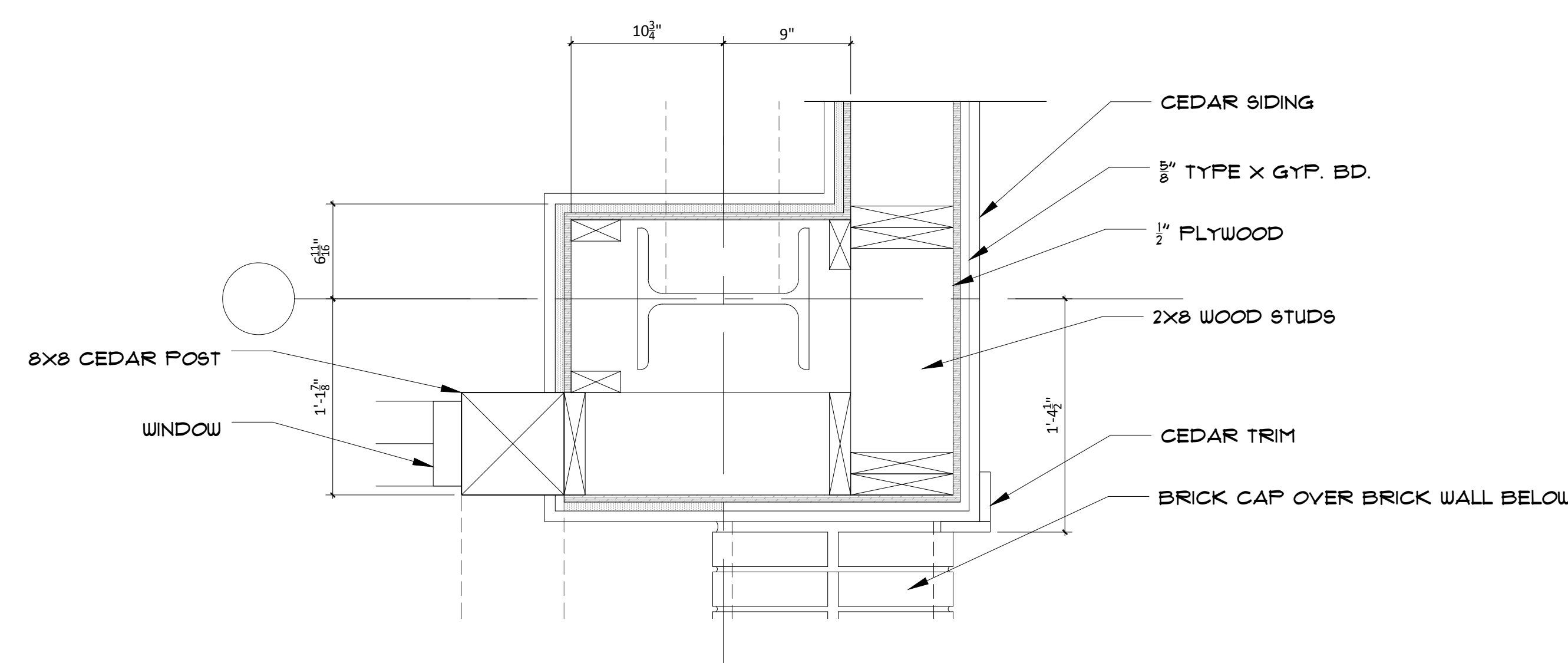
**8 BRICK CAP**  
SCALE: 3/4" = 1'-0"



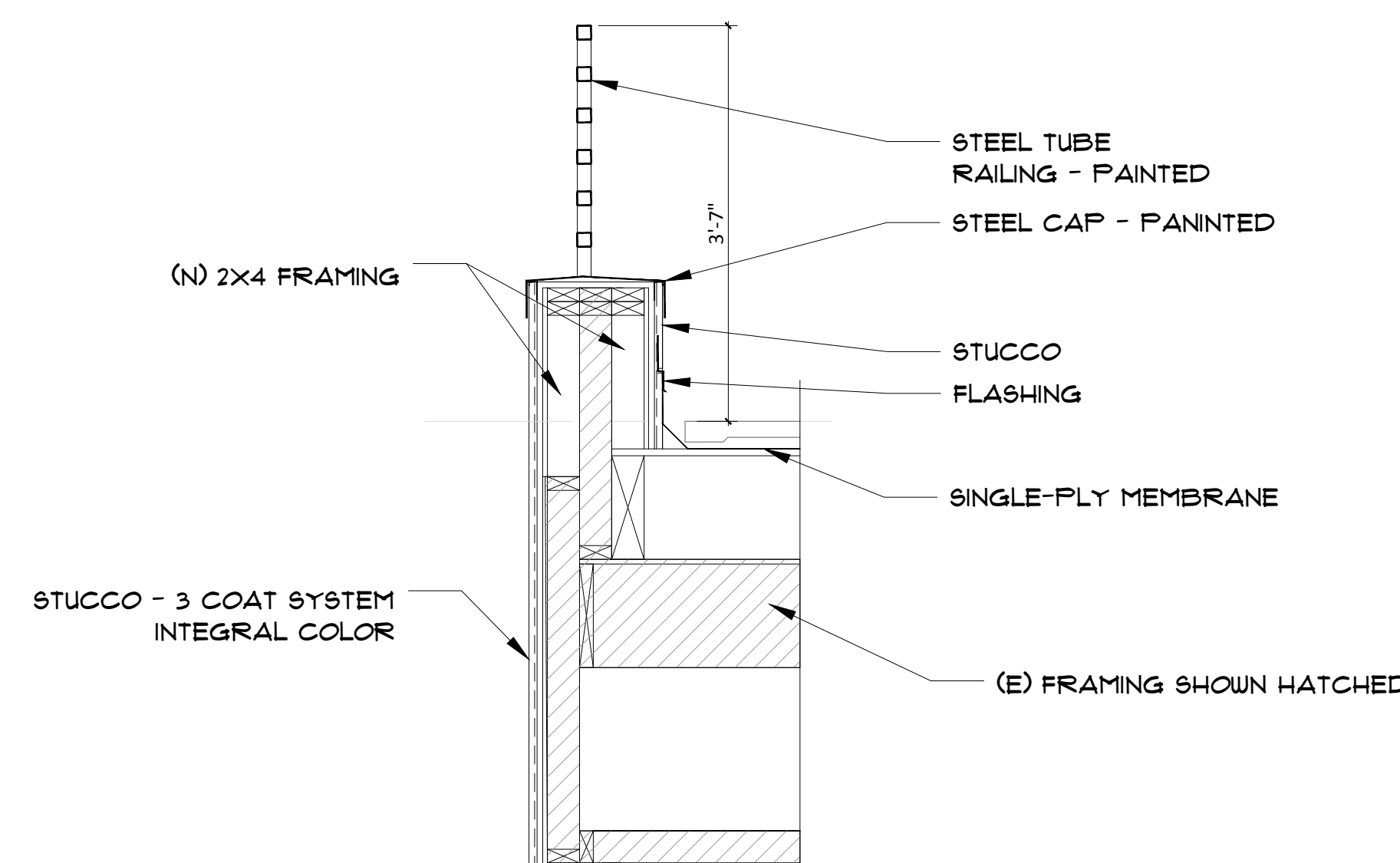
**7 THIRD LEVEL EXTERIOR WALL/ROOF**  
SCALE: 3/8" = 1'-0"



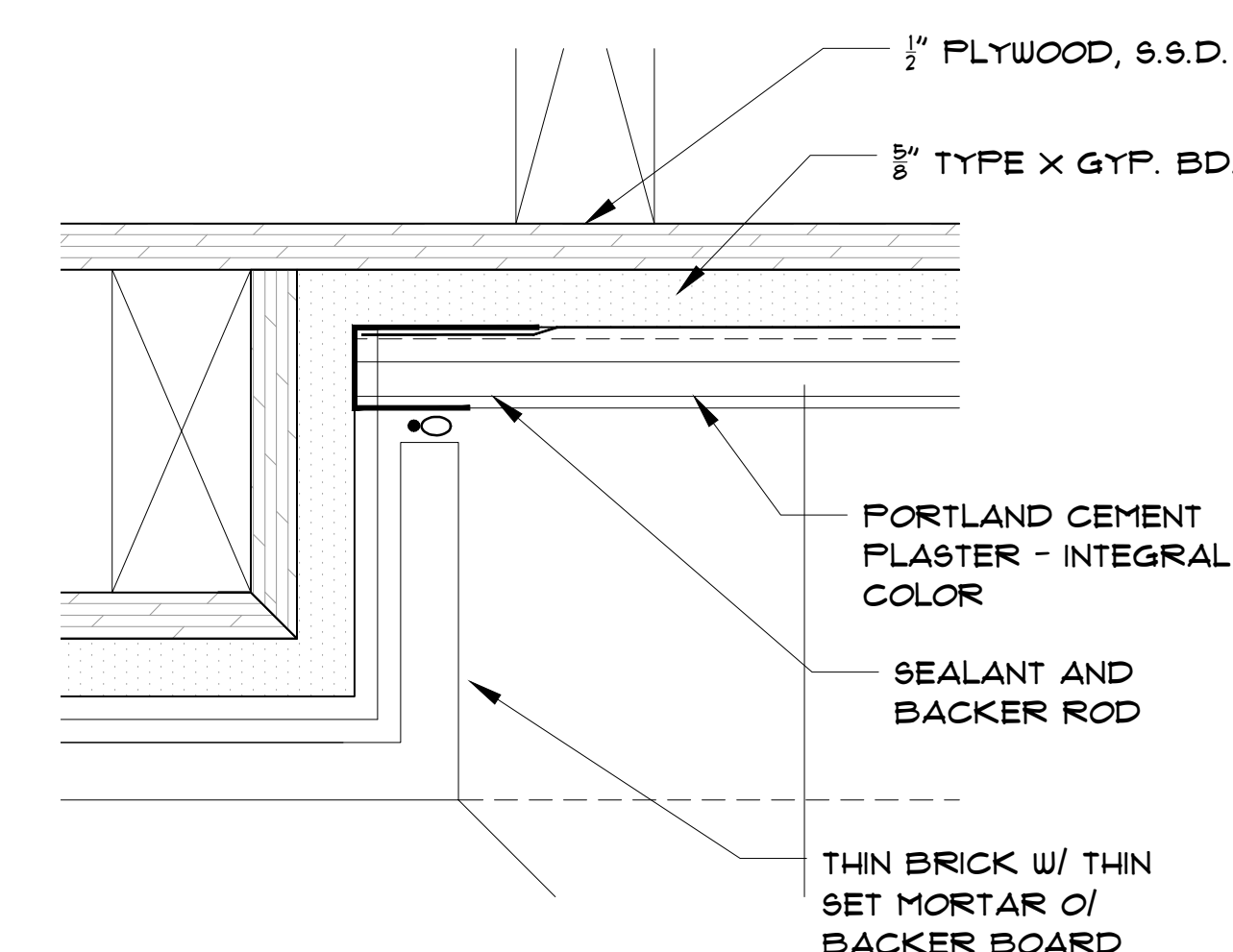
**6 (E) ROOF AT (N) THIRD LEVEL**  
SCALE: 1/2" = 1'-0"



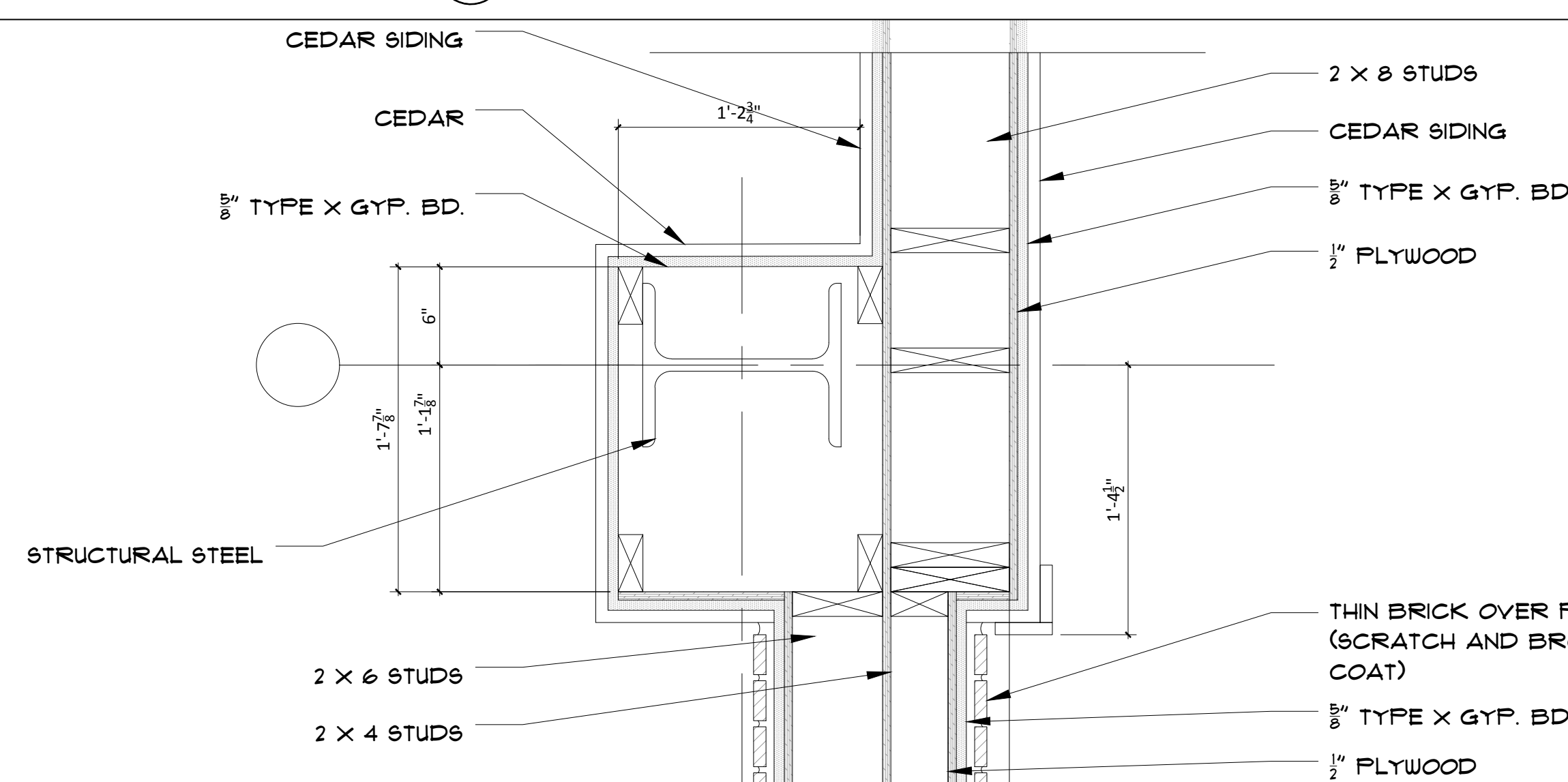
**5 PLAN DETAIL - BRICK / SIDING JOINT**  
SCALE: 3/4" = 1'-0"



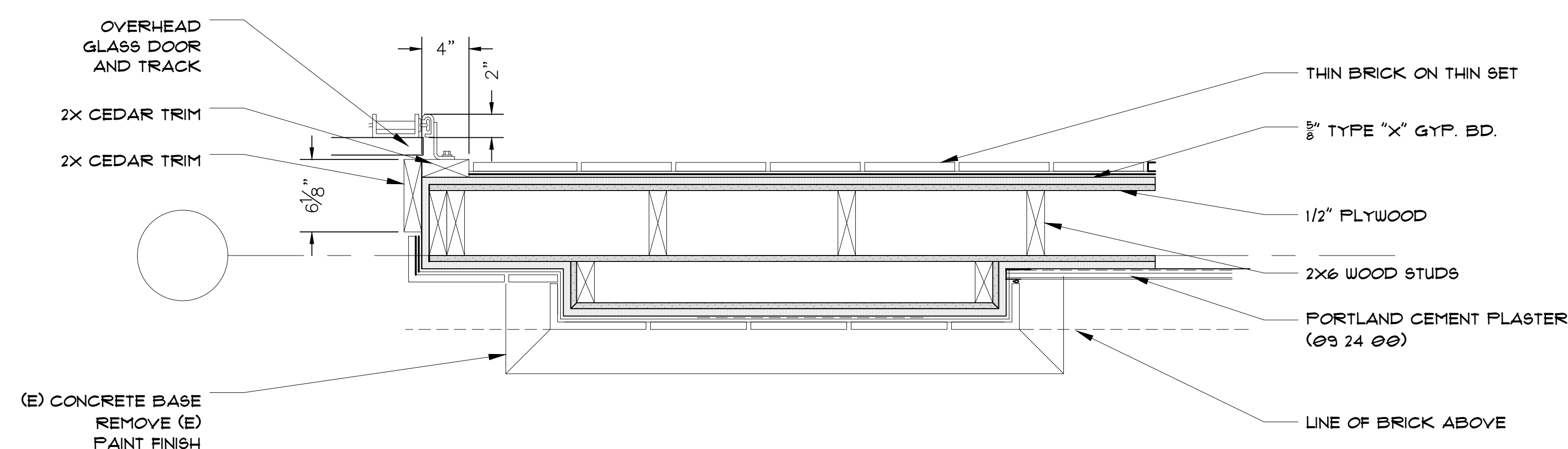
**4 THIRD LEVEL RAILING**  
SCALE: 3/4" = 1'-0"



**3 INSIDE JOINT AT BRICK AND STUCCO**  
SCALE: 3" = 1'-0"



**2 PLAN DETAIL - BRICK / SIDING JOINT**  
SCALE: 3/4" = 1'-0"

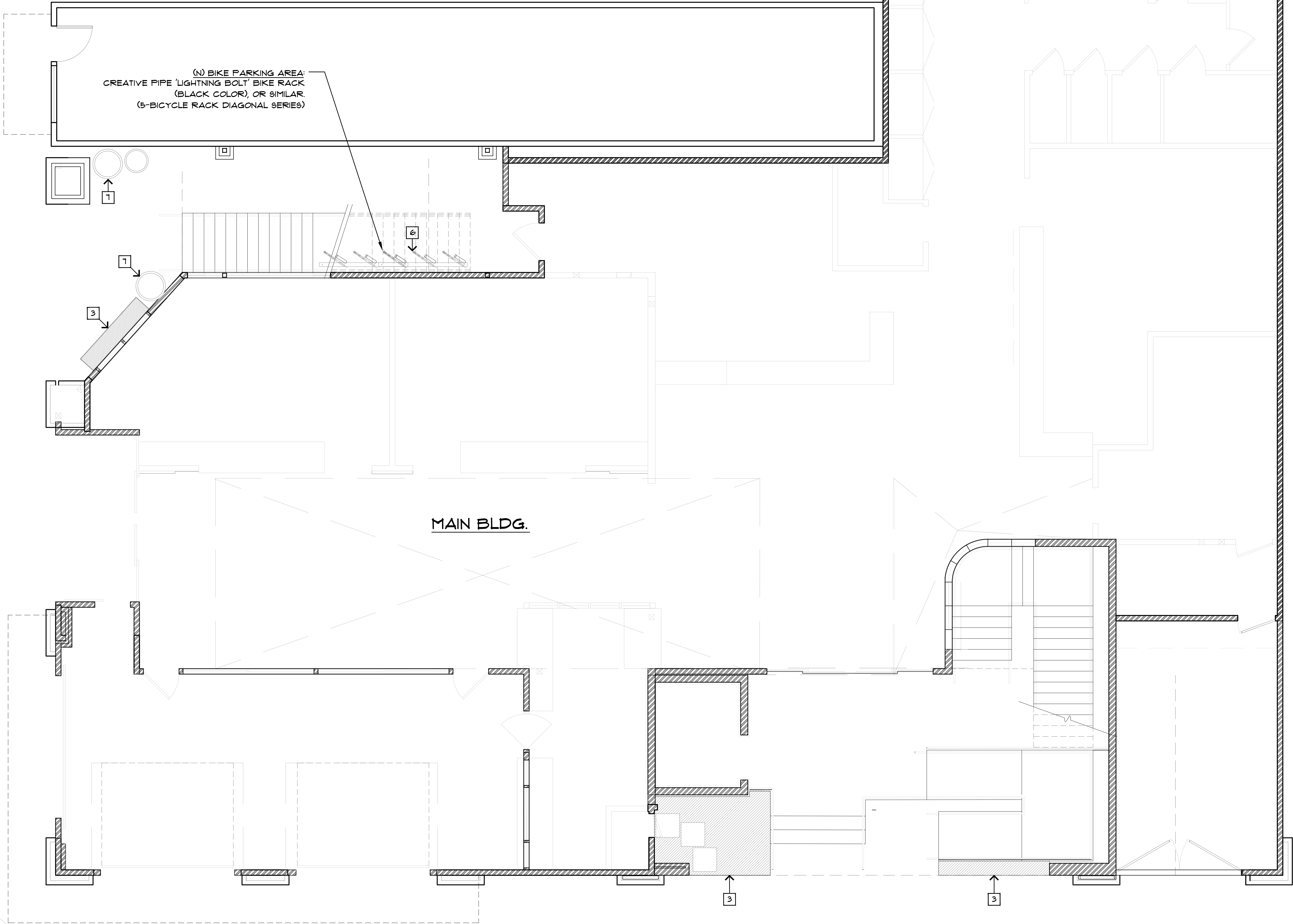


**1 PLAN DETAIL / OVERHEAD DOOR JAMB**  
SCALE: 3/4" = 1'-0"

Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



CREATIVE PIPE 'LIGHTNING BOLT' BIKE RACK  
(G-LR-D, 5 BICYCLE RACK, DIAGONAL SERIES - BLACK COLOR)



SHEET NOTES:

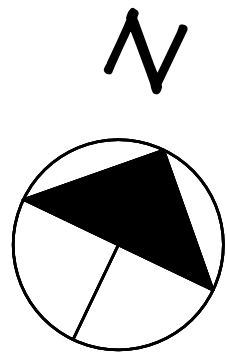
1. INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.

KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	SITE FURNISHINGS
6	BICYCLE RACK
7	POTTERY
8	GAS FIRE TABLE/VENT FREE FIREPLACE
9	WATER FEATURE
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) TRELLIS
14	(N) BRICK PARAPET
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE

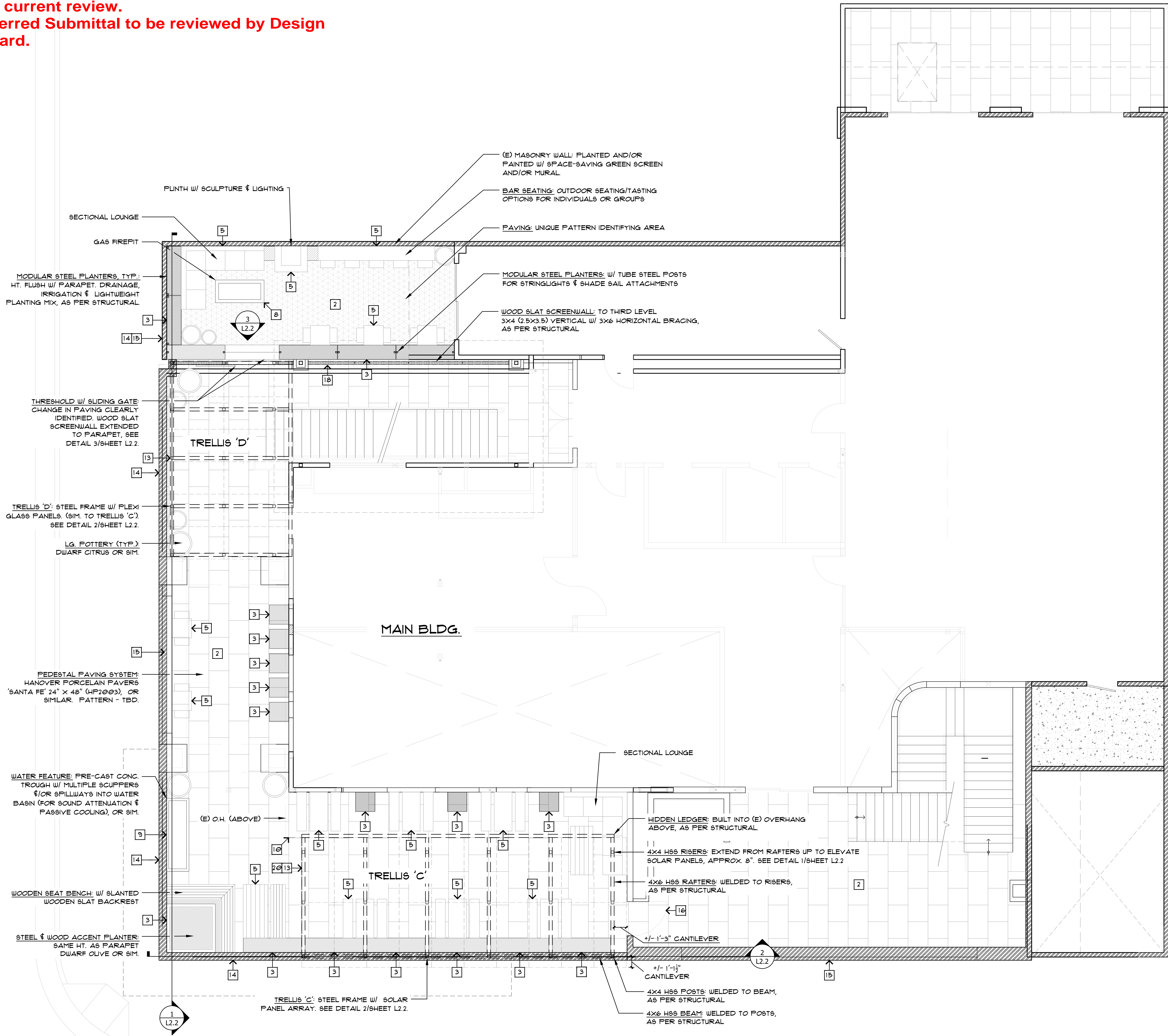


FIRST LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GP
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	10/28/20	LANDSCAPE SUPPLEMENTAL			

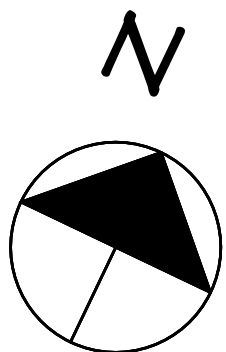
Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



SHEET NOTES:  
1. INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.

KEY NOTES:		
1	PROPERTY LINE	
2	SITE PAVING	
3	PLANTER/LANDSCAPE AREA	
4	RAMP	
5	SITE FURNISHINGS	
6	BICYCLE RACK	
7	POTTERY	
8	GAS FIRE TABLE/VENT FREE FIREPLACE	
9	WATER FEATURE	
10	LINE OF WALL ABOVE	
11	CITY SIDEWALK	
12	(N) SKYLIGHT	
13	(N) TRELLIS	
14	(N) BRICK PARAPET	
15	(N) STEEL RAILING	
16	(N) GATE	
17	(N) AWNING	
18	(N) SCREENWALL	
19	(N) OUTDOOR KITCHEN/BAR	
20	(N) SOLAR PANEL ARRAY	

LEGEND  
PERIMETER OF STRUCTURE



REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	10/28/20	LANDSCAPE SUPPLEMENTAL			

THE BEALE GROUP  
THE LIVERY PROJECT

135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.

WATER FEATURE: PRE-CAST CONC. TROUGH W/ BRASS  
OR COPPER SCUPPERS & UNDERWATER LIGHTING,  
(FOR SOUND ATTENUATION & VISUAL INTEREST), OR SIM.

ROOFTOP RECESSED PLANTING AREAS:  
WATERPROOFING, DRAINAGE, & LIGHTWEIGHT ENGINEERED SOIL MIX,  
AS PER STRUCTURAL SCREENWALL OF DENSE BAMBOO OR SIM.

TRELLIS 'B': WEATHERPROOF ROOFING, T&G CEILING,  
& SLIDING SCREEN PANELS (PERFORATED METAL OR SIM.),  
SEE DETAIL 3/SHEET L2.2.

PAVING: COMPOSITE DECKING MATERIAL  
(RAISED APPROX. 18"), WOOD-STAMPED  
TILES, OR SIM.

METAL SCREEN RAILING, TYP.:

STORAGE AREA: (SEE ARCHITECTURAL DWG.S).

STEEL GARDEN GATE(S): HSS FRAMING W/  
LOCKING LATCH, PERFORATED STEEL DOOR  
PANEL & SIDE PANELS

HIDDEN BAR: SLIDING/LOCKING DOORS (W/  
BUILT-IN SHELVING, LIGHTING, PLUMBING &  
FULL-OUT COUNTERS

MOVEABLE FURNITURE/  
FOLDING TABLES (TYP.)

NEW PARAPET W/ STEEL RAILING:  
SEE DETAIL (A8.1)

TRELLIS 'A': WELDED ARCHED  
STEEL FRAME, SEE DETAIL 1/  
SHEET L2.2

MODIFIED BRICK PARAPET:  
SEE DETAIL (A8.1)

PEDESTAL PAVING SYSTEM:  
HANOVER PORCELAIN PAVERS  
'SANTA FE' 24" X 48" (HP2003), OR  
SIMILAR. PATTERN - TBD.

MODULAR STEEL PLANTERS, TYP.:  
HT. FLUSH W/ PARAPET.  
DRAINAGE, IRRIGATION &  
LIGHTWEIGHT PLANTING MIX, AS  
PER STRUCTURAL

ROOFTOP RECESSED PLANTING AREAS:  
WATERPROOFING, DRAINAGE, & LIGHTWEIGHT  
ENGINEERED SOIL MIX, AS PER STRUCTURAL

GAS FIRE TABLE: PRE-CAST CONCRETE - TBD

WOODEN SEAT BENCH: W/ SLANTED WOODEN  
SLAT BACKREST

LINE OF (E) PARAPET W/ NEW STEEL  
RAILING: SEE DETAIL (A8.1)

SLIDING BARN DOOR:  
STEEL FRAME & WOOD SIDING  
(TO MATCH BLDG. EXTERIOR)

#### SHEET NOTES:

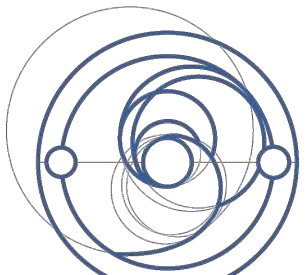
- INTERIOR PLAN LAYOUT IS SHOWN FOR  
REFERENCE. FINAL PLAN WILL BE SHOWN  
IN T1 BUILDING PERMIT SET.

#### KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	SITE FURNISHINGS
6	BICYCLE RACK
7	POTTERY
8	GAS FIRE TABLE/VENT FREE FIREPLACE
9	WATER FEATURE
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) TRELLIS
14	(N) BRICK PARAPET
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

#### LEGEND

PERIMETER OF STRUCTURE



**Builders Studio**

OF SEBASTOPOL  
555 SO. MAIN STREET SUITE 1  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 827-3388 FAX: (707) 827-3253  
WWW.BUILDERSSTUDIOINC.COM  
CSL: 878243

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only and are not intended to accurately depict  
actual or designed conditions. Written  
dimensions shall govern.

CHECKED	DATE	DESCRIPTION	DATE	DESCRIPTION
GM		DESIGN REVIEW SUBMITTAL		
GM, JN		RESUBMITTAL - ROOF UPDATE		
GM		LANDSCAPE SUPPLEMENTAL		

THE BEALE GROUP  
THE LIVERY PROJECT

135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

THIRD LEVEL  
LANDSCAPE  
SITE PLAN

SHEET

L1.3

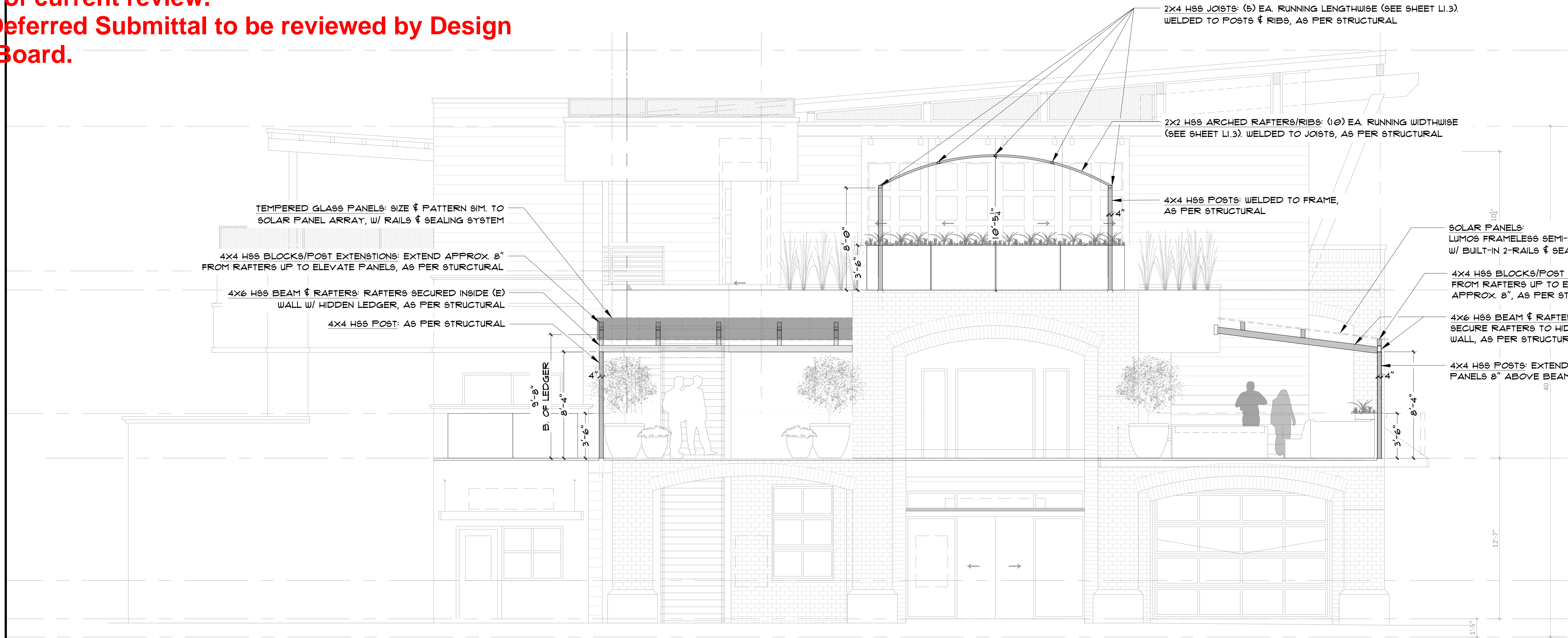
PDF  
DATE

10/28/20

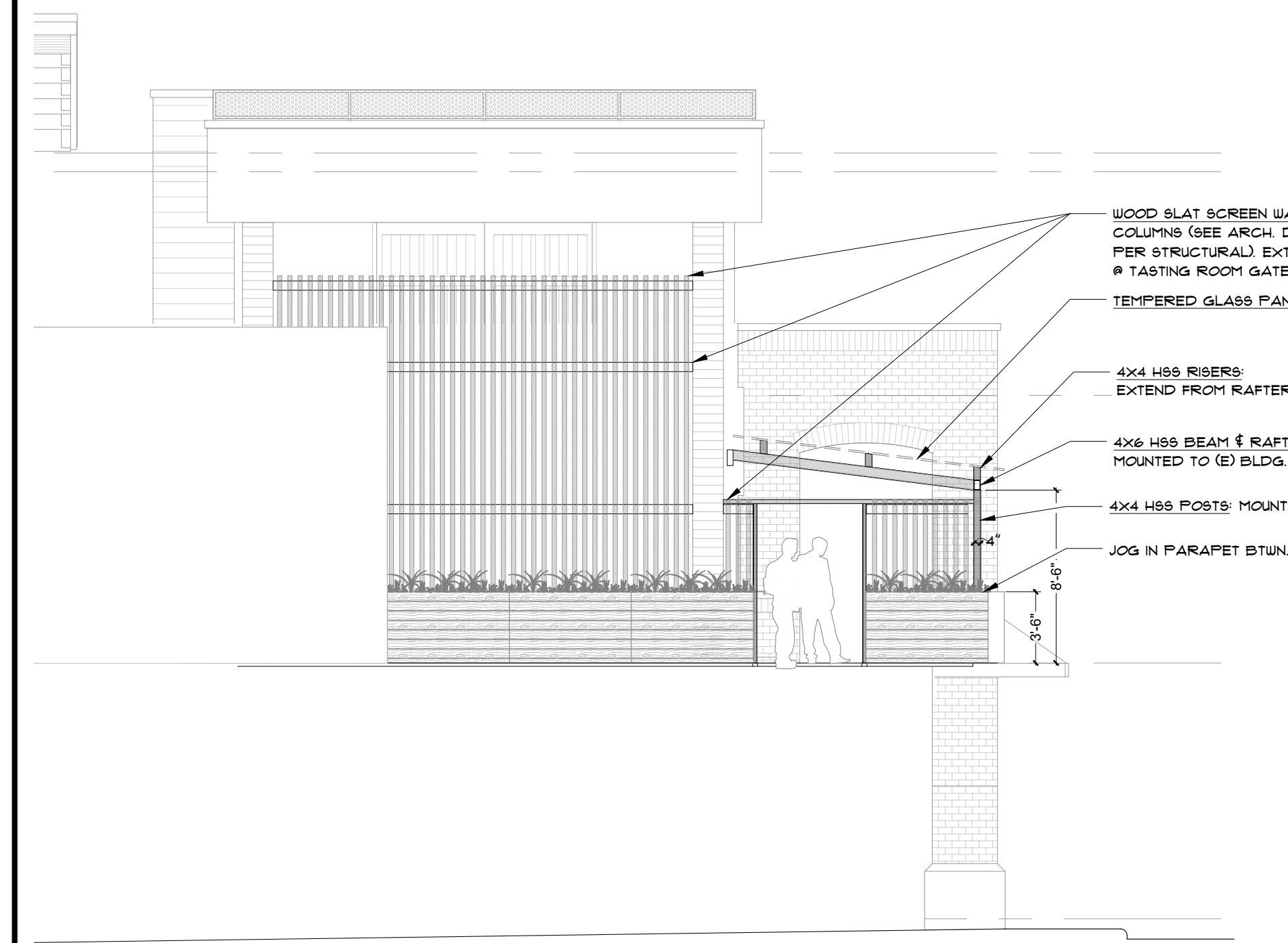
THIRD LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"

Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



1 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' & 'D' - WEST SECTION-ELEVATION  
1/8" = 1'-0"



3 SECOND LEVEL TRELLIS 'D' - NORTH ELEVATION  
1/8" = 1'-0"



2 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' - SOUTH SECTION-ELEVATION  
1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	10/28/20	LANDSCAPE SUPPLEMENTAL			

**THE BEALE GROUP**  
**THE LIVERY PROJECT**  
135 S. MAIN  
SEBASTOPOL, CA 95472  
040-054-020

2ND & 3RD LEVEL  
TRELLIS  
ELEVATIONS

SHEET  
**L2.2**

**of current review.**

**ferred Submittal to be reviewed by Design**

**board.**

Architectural elevation drawing of a building facade, likely a porch or deck area. The drawing includes various dimensions and material specifications:

- Dimensions:**
  - Overall height: 46'-0"
  - Section height: 13'-2"
  - Section width: 12'-7"
  - Section depth: 1'-3"
  - Roof overhang: 1'-6"
  - Porch depth: 8'-0"
  - Post-to-post spacing: 5'-0"
  - Planter depth: 3'-6"
  - Planter height: 1'-6"
  - Beam-to-beam spacing: 2'-8" MAX
  - Typical beam spacing: 2'-8" O.C. (TYP.)
  - Post-to-planter spacing: 10'-0"
- Materials and Specifications:**
  - ROOFING MATERIAL: ROOFING, PER STD
  - RAFTERS: 2x6 @ 16"
  - FASCIA: ON ALL EX
  - WOOD BEAMS: 6x12 RUD W/ ANG
  - WOOD POSTS: 6x6 R
  - RECESSED PLANTER: ENGINEERED SOIL MI

8'-0"

5'-0"

3'-6"

ROOFING MATERIAL: SHEATHING, WATERPROOFING & STANDING SEAM METAL ROOFING, PER STRUCTURAL

RAFTERS: 2X6" @ 32" O.C. (TO SUPPORT T&G CEILING), PER STRUCTURAL

WOOD BEAMS: 6X12" RWD W/ ANGLED END-CUT & END CAPS, PER STRUCTURAL

FASCIA: ON ALL EXPOSED SIDES OF ROOF, AS PER STRUCTURAL

WOOD POSTS: 6X6 RWD S4S, PER STRUCTURAL

VENT-FREE GAS FIREPLACE: F.I.P. CONC. SURROUND, OR SIM. (MFR. OF INSERT - TBD)

MODULAR STEEL PLANTER: TYP., SEE SHEET LI.2.

WATER FEATURE: F.I.P. CONC. TROUGH W/ BRASS SCUFFERS, OR SIM. SEE SHEET LI.3.

OUTDOOR PREP. COUNTER: SEE SHEET LI.3.

SLIDING SCREENS: SEE SHEET LI.3.

THIRD LEVEL  
TRELLIS  
ELEVATIONS

---

SHEET

L2.3

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PDF DATE	10/28/20
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Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.

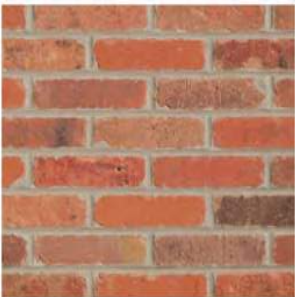


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Exterior Sign Program  
October 28, 2020



Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



Thin Brick Cladding



Stucco - Smooth  
Color: DE6384 Iron Fixture



Perforated Metal @ Railing  
Color: DEA187 Black



Cedar Siding  
Color: Clear Finish

# THE LIVERY

## A FARM TO COAST COLLECTIVE



RUST	TAN	COAL	BONE
C37 M59 Y74 K22	C21 M27 Y40 K0	C0 M0 Y0 K90	C1 M3 Y6 K4
R139 G97 B70	R203 G180 B153	R65 G64 B66	R241 G235 B229
HEX #8B6146	HEX #CBB499	HEX #414042	HEX #F1EBE5
PMS 160 U	PMS 7502 U	PMS BLACK 2 U	PMS 9043 U



RUST	MUSTARD	OLIVE	PETROL
C37 M59 Y74 K22	C31 M33 Y88 K2	C51 M42 Y58 K12	C66 M42 Y45 K11
R139 G97 B70	R181 G157 B69	R126 G125 B107	R95 G121 B123
HEX #8B6146	HEX #B59D45	HEX #7E7D6B	HEX #5F797B
PMS 160 U	PMS 457 U	PMS 7561 U	PMS 5487 U



TAN	MUSTARD LIGHT	OLIVE LIGHT	PETROL LIGHT
C21 M27 Y40 K0	C13 M20 Y63 K0	C30 M17 Y50 K0	C50 M29 Y35 K0
R203 G180 B153	R217 G193 B120	R184 G189 B144	R137 G160 B160
HEX #CBB499	HEX #D9C178	HEX #B8BD90	HEX #89a0a0
PMS 7502 U	PMS 459 U	PMS 5787 U	PMS 5575 U

### The Livery Color System

Tier One  
The Livery Primary Brand colors to be used with the Logotypes and Icons.

Tier Two  
The Livery Secondary Brand extension colors to be used for promotional materials.

Tier Three  
The Livery Tertiary Brand extension colors to be used if the tier two colors are too deep for easy readability. This tier should be used on rare occasions when the above colors are not feasible for readability.

**LIBERATOR - REGULAR**  
**ABCDEFGHIJKLMNOPQRSTUVWXYZ**  
**ABCDEFGHIJKLMNOPQRSTUVWXYZ**  
**0123456789**

Bell Gothic Std - Bold  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789

Helvetica Neue - Medium  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789



### PROJECT

### DESCRIPTION

### PHASE

### DATE/REVISIONS

### PAGE

THE LIVERY ON MAIN

BUILDING MATERIALS,  
BRANDING COLOR PALLETE  
& SECONDARY BRANDING FONT

PRELIMINARY

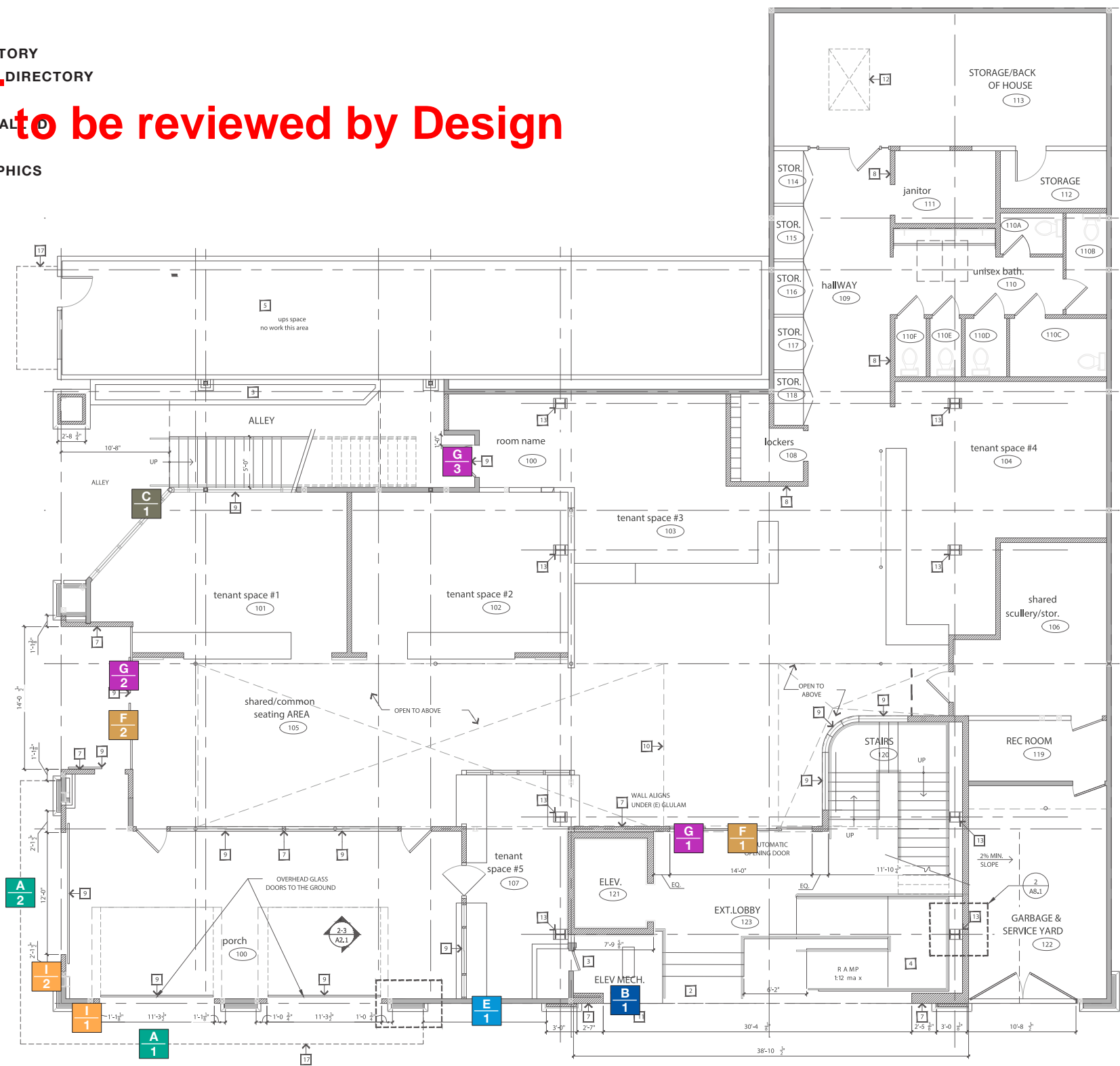
10.12.2020

1.0

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Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.

- A BUILDING SIGN
- B MAIN BUILDING DIRECTORY
- C SECONDARY BUILDING DIRECTORY
- D MARQUEE
- E THE LIVERY ON MAIN
- F FLOOR ID
- G TENANT WINDOW GRAPHICS
- H BUILDING ADDRESS
- I ESTABLISHED PLAQUE



PROJECT

DESCRIPTION

PHASE

SCALE

DATE/REVISIONS

PAGE

THE LIVERY ON MAIN

SIGN LOCATIONS  
1st FLOOR

PRELIMINARY

NTS

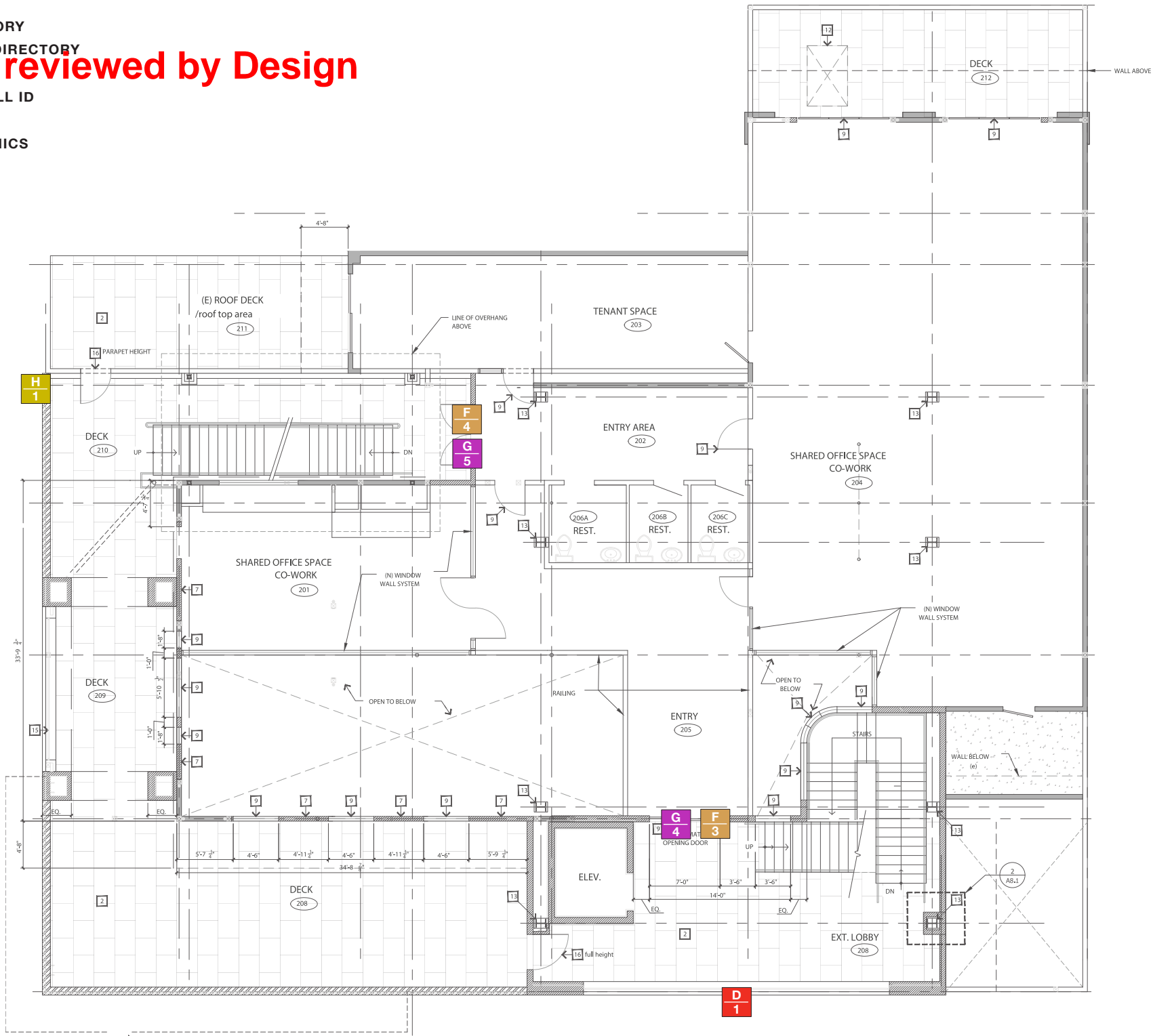
10.28.2020

2.0

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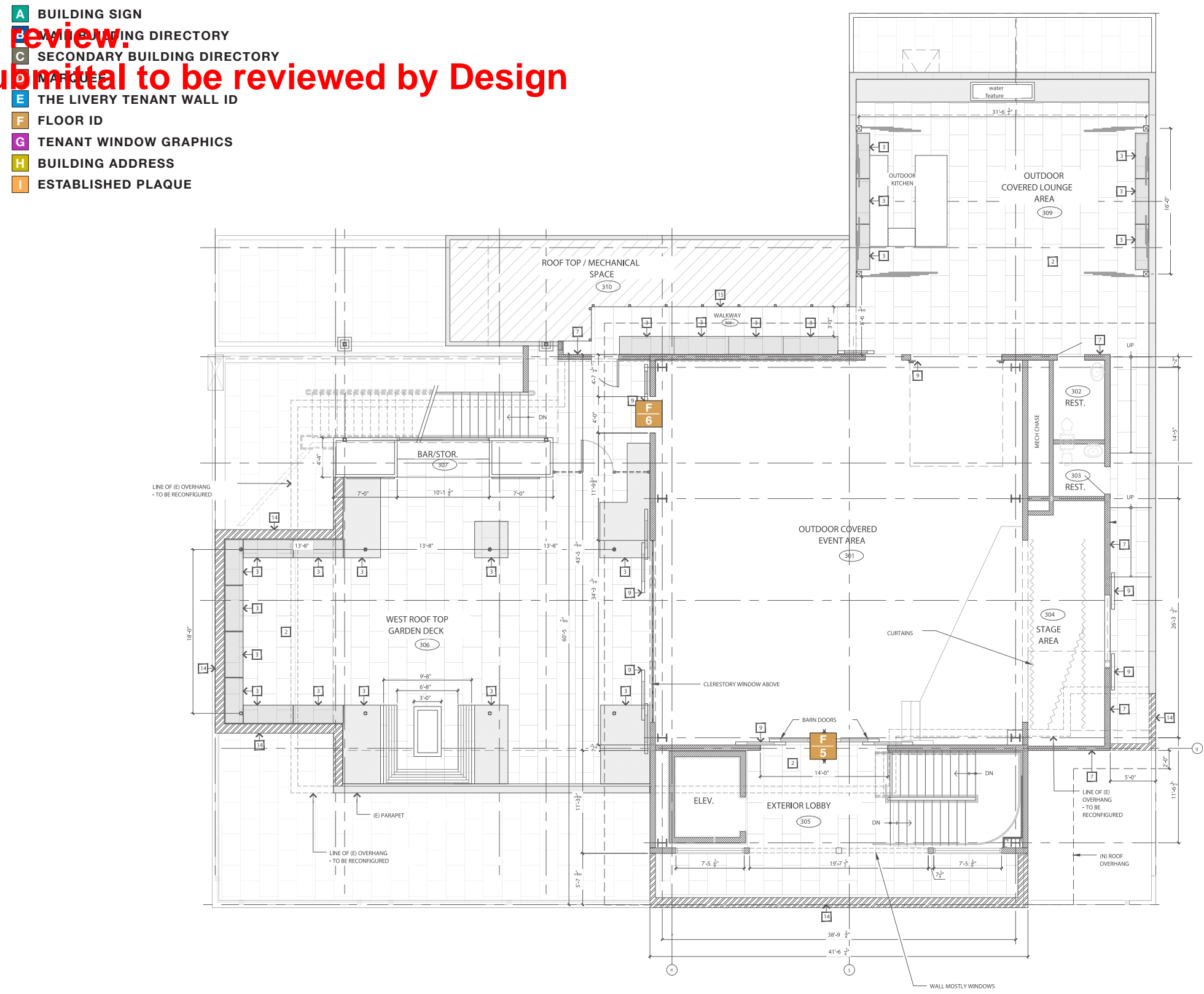
- A** BUILDING SIGN
- B** MAIN BUILDING DIRECTORY
- C** SECONDARY BUILDING DIRECTORY
- D** BUILDING SIGN
- E** THE LIVERY TENANT WALL ID
- F** FLOOR ID
- G** TENANT WINDOW GRAPHICS
- H** BUILDING ADDRESS
- I** ESTABLISHED PLAQUE



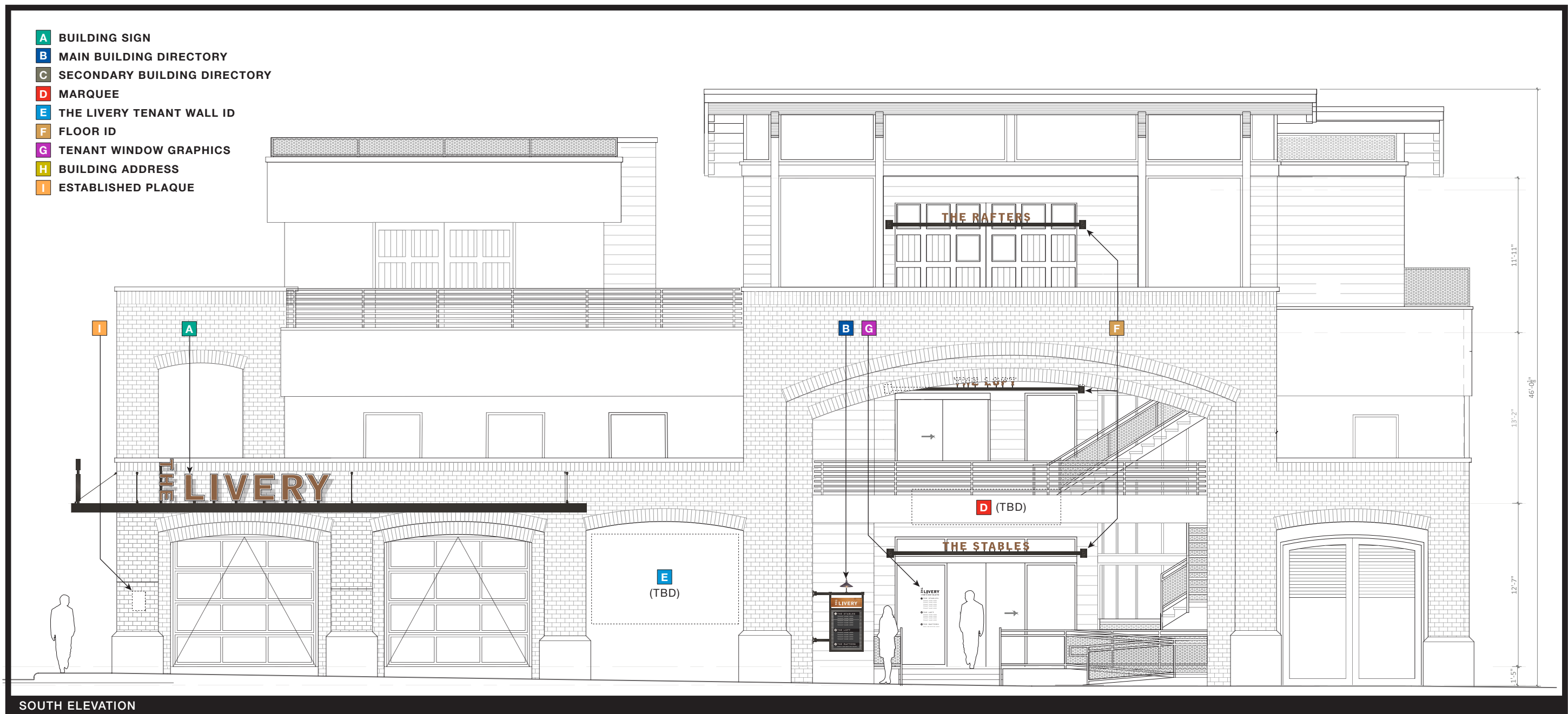
PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
THE LIVERY ON MAIN	SIGN LOCATIONS 2nd FLOOR	PRELIMINARY	NTS	10.28.2020	2.1

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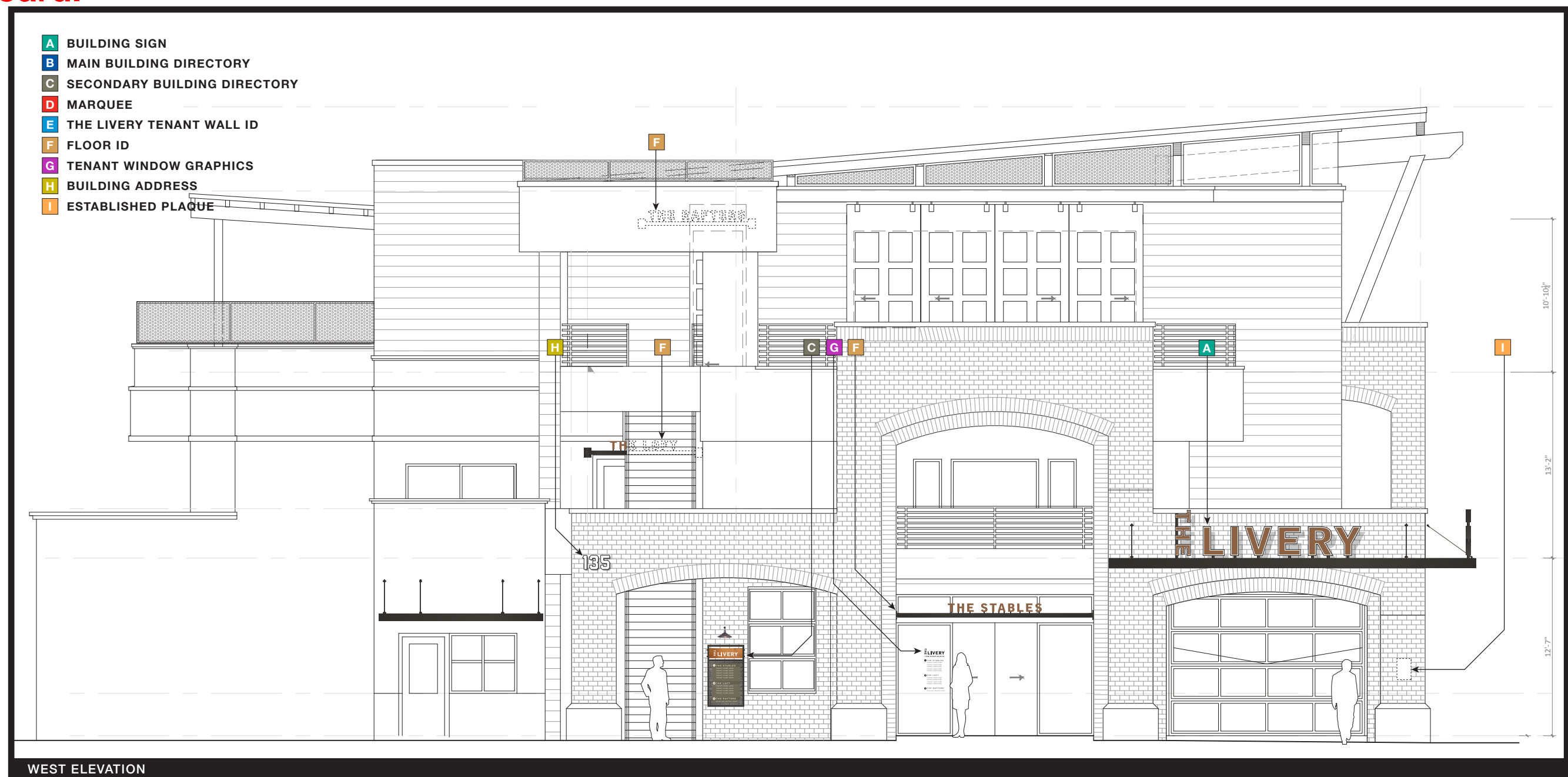
Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
THE LIVERY ON MAIN	SOUTH ELEVATION FAMILY OF SIGNS	DEVELOPMENT	1/8"=1'-0"	10.28.2020	3.0

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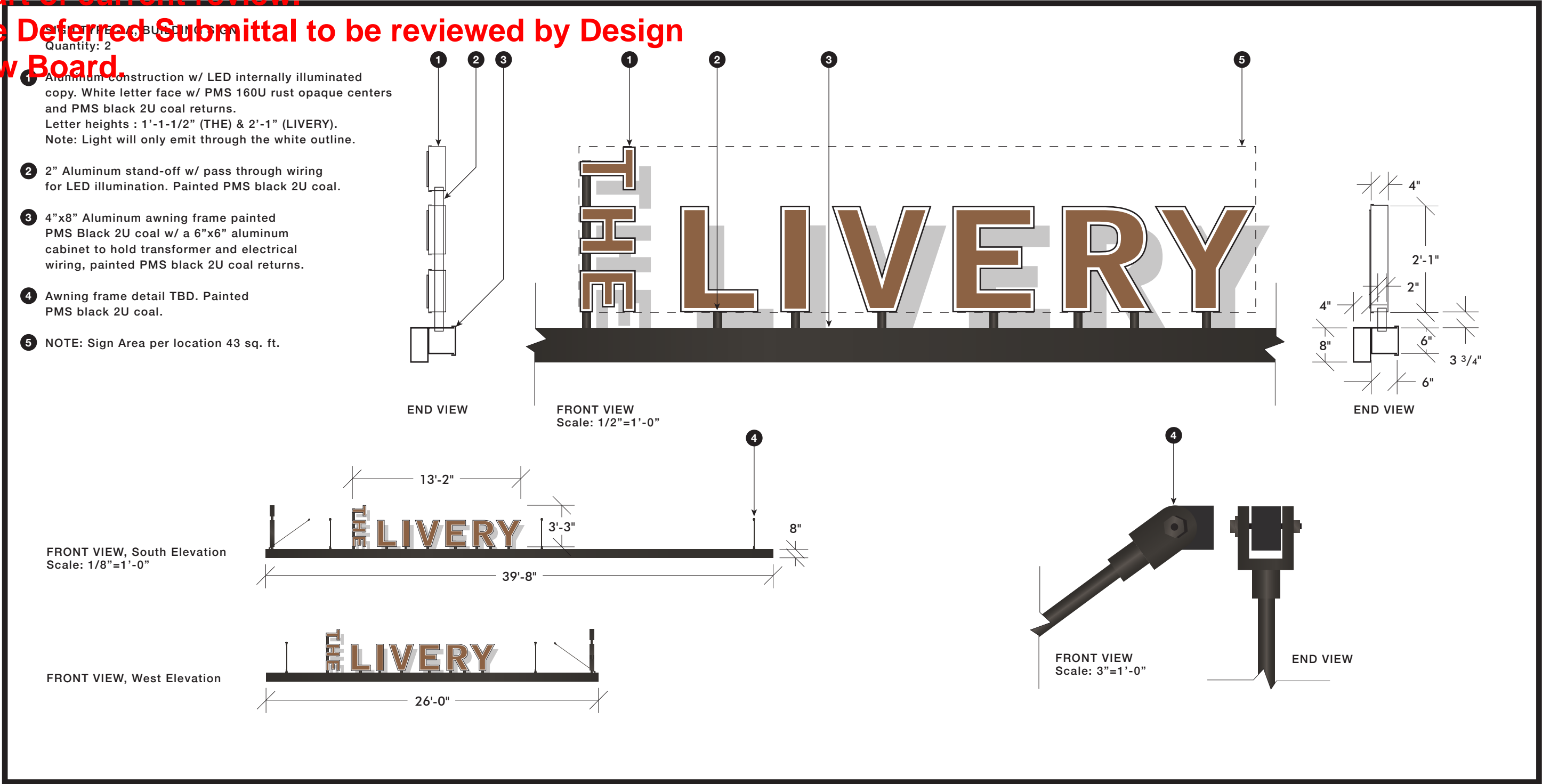
Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
THE LIVERY ON MAIN	WEST ELEVATION FAMILY OF SIGNS	DEVELOPMENT	1/8"=1'-0"	10.28.2020	3.1

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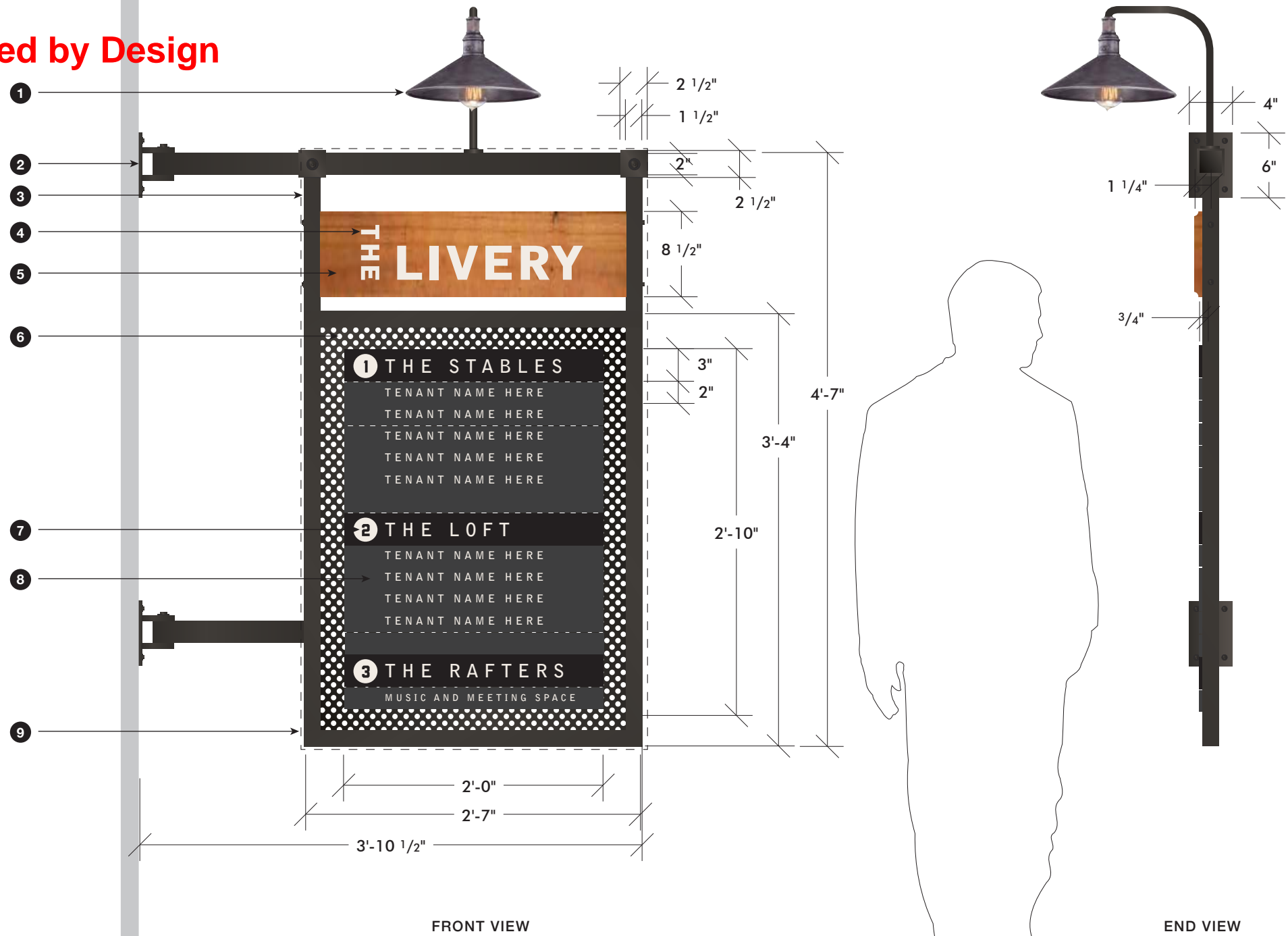


Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.

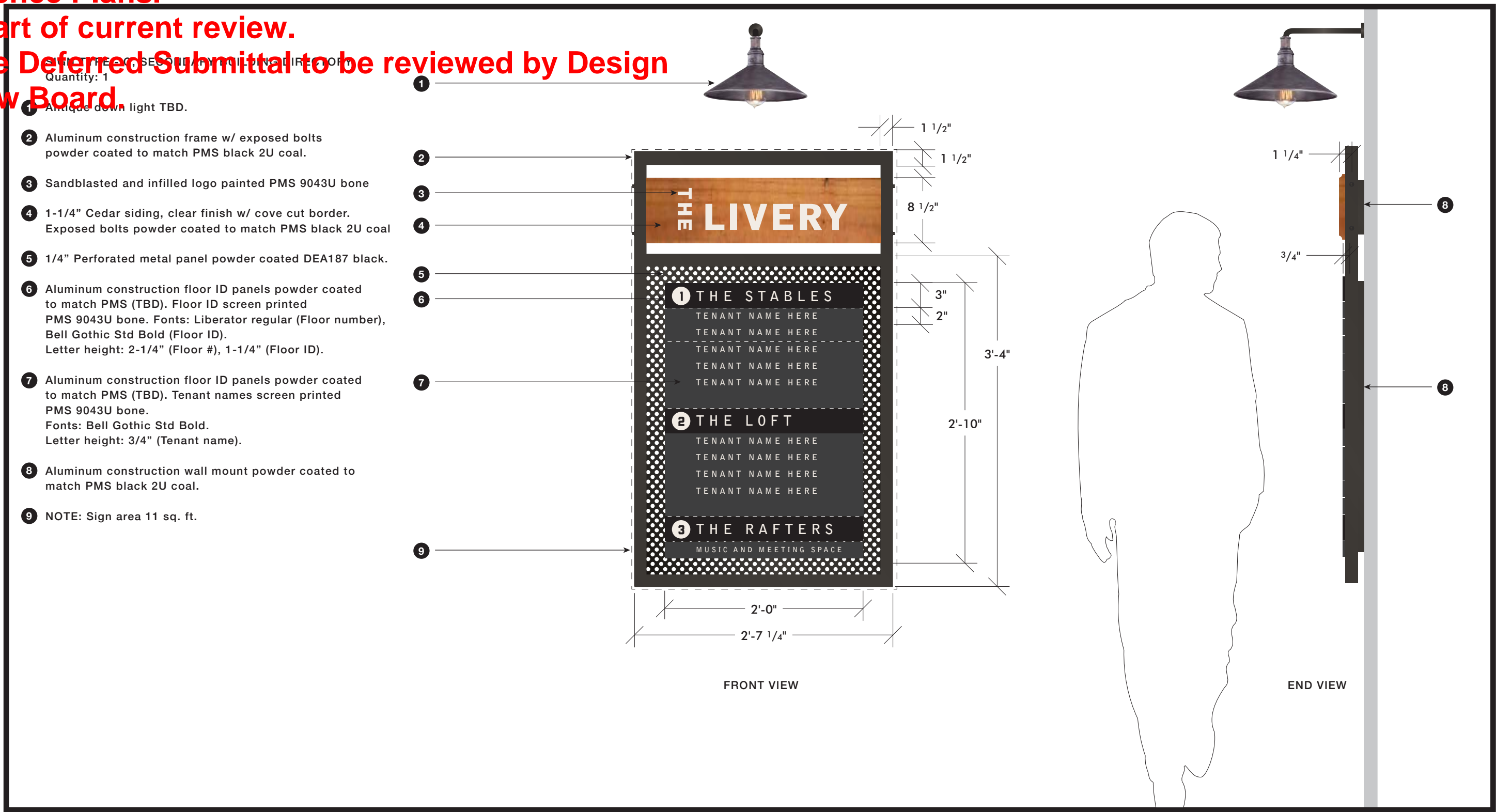
SIGN TYPE - B, MAIN BUILDING DIRECTORY



Quantity: 1

- 1 Antique down light TBD.
- 2 Aluminum construction hinge powder coated to match PMS black 2U coal.
- 3 Aluminum construction frame w/ exposed bolts powder coated to match PMS black 2U coal.
- 4 Sandblasted and infilled logo painted PMS 9043U bone.
- 5 1-1/4" Cedar siding, clear finish w/ cove cut border. Exposed bolts powder coated to match PMS black 2U coal.
- 6 1/4" Perforated metal panel powder coated DEA187 black.
- 7 Aluminum construction floor ID panels powder coated to match PMS (TBD). Floor ID screen printed PMS 9043U bone. Fonts: Liberator regular (Floor number), Bell Gothic Std Bold (Floor ID). Letter height: 2-1/4" (Floor #), 1-1/4" (Floor ID).
- 8 Aluminum construction floor ID panels powder coated to match PMS (TBD). Tenant names screen printed PMS 9043U bone. Fonts: Bell Gothic Std Bold. Letter height: 3/4" (Tenant name).
- 9 NOTE: Sign area 11.75 sq. ft.



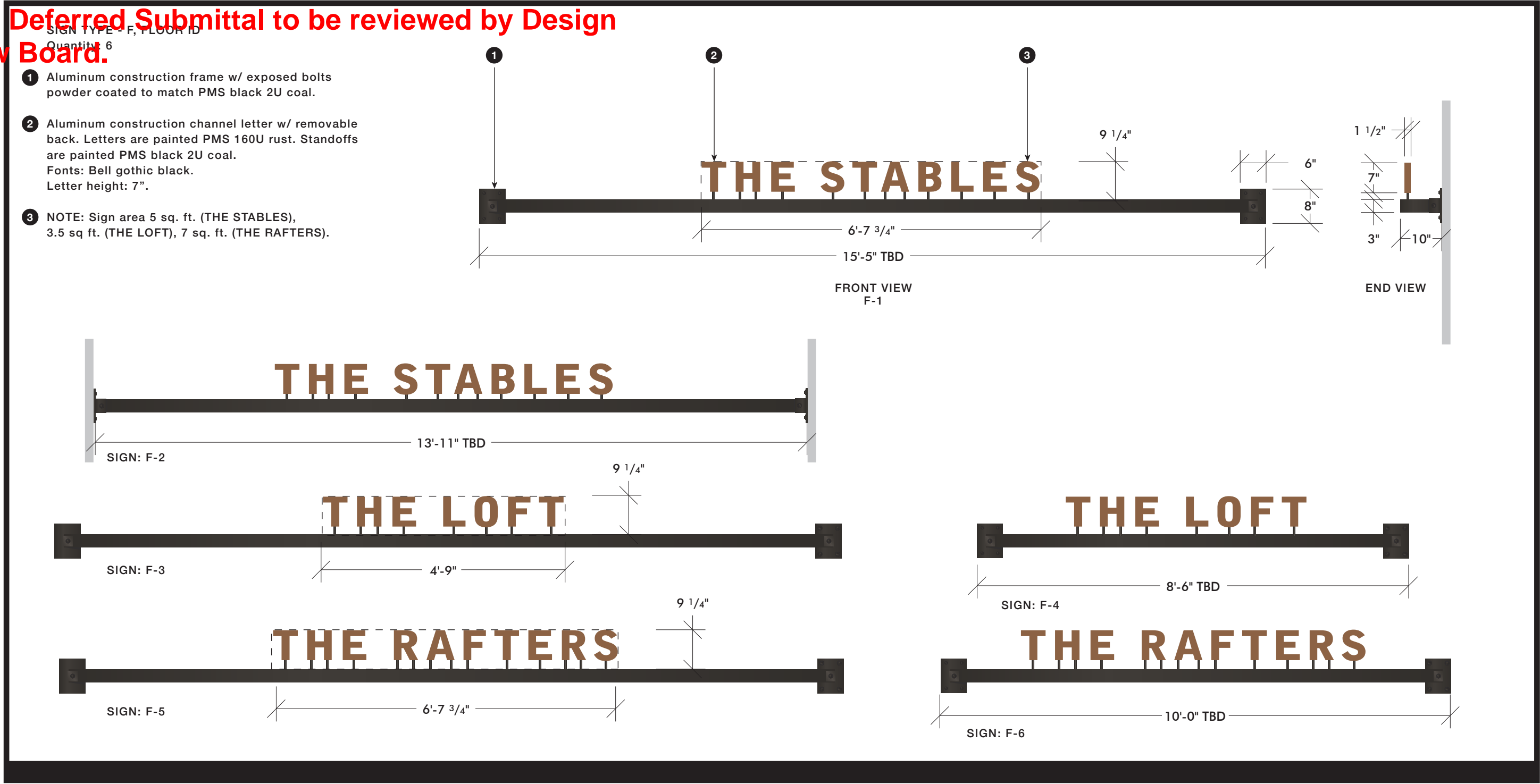
Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.



 THEBEALEGROUP empowering small business	PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
	THE LIVERY ON MAIN	 SECONDARY BUILDING DIRECTORY	DEVELOPMENT	1"=1'-0"	10.27.2020	6.0

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Reference Plans.  
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Future Deferred Submittal to be reviewed by Design Review Board.

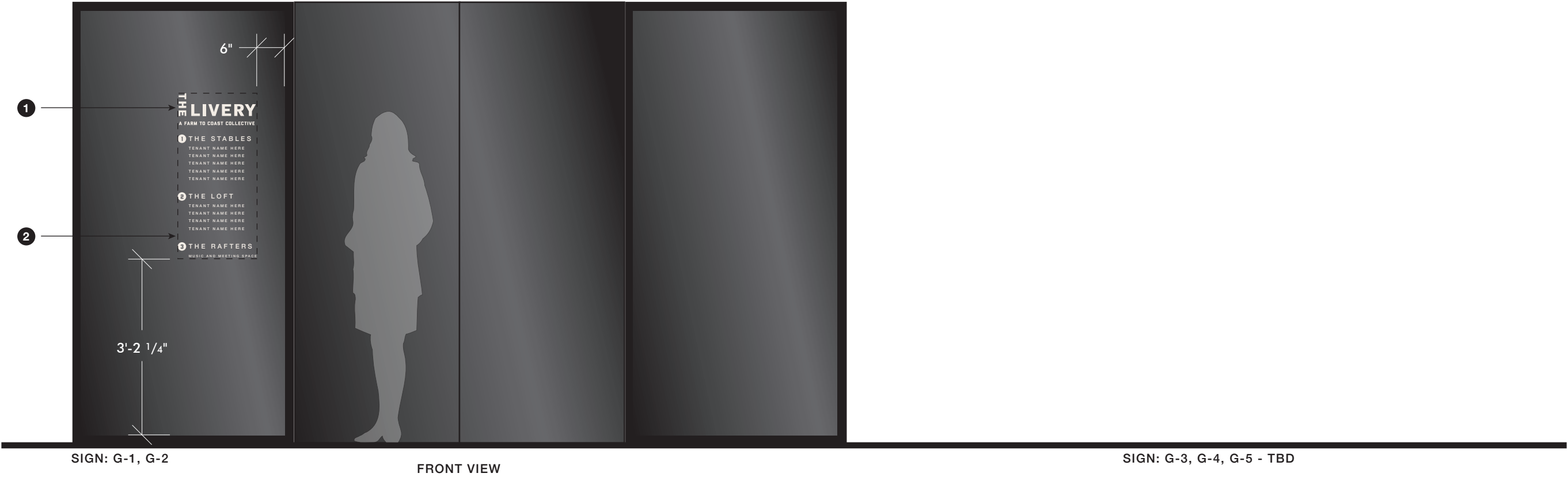


 THEBEALEGROUP empowering small business	PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
	THE LIVERY ON MAIN	 FLOOR ID	DEVELOPMENT	1/2"=1'-0"	10.28.2020	7.0



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Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design Review Board.

- SIGN TYPE: G TENANT GRAPHICS  
Quantity: 5
1. All graphics to match PMS 9043U bone.  
Fonts: Liberator regular (Floor number),  
Bell Gothic Std Bold (Floor ID & Tenant Names).  
Letter height: 1" (Floor #), 1" (Floor ID), 5/8" (Tenant Names).
2. NOTE: Sign area 4 sq. ft.



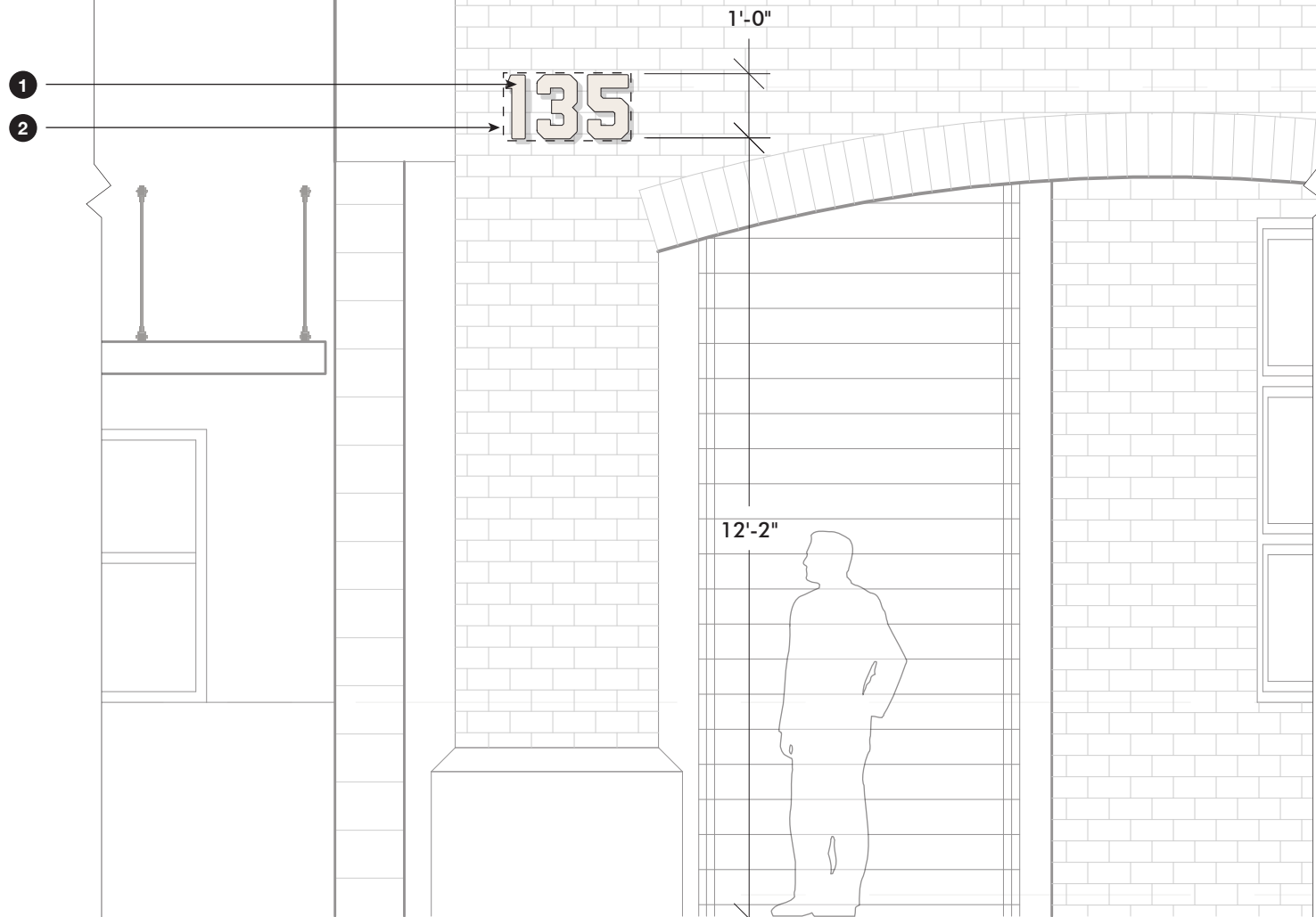
G

 THEBEALEGROUP empowering small business	PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
	THE LIVERY ON MAIN	 TENANT GRAPHICS	DEVELOPMENT	1/2"=1'-0"	10.27.2020	8.0

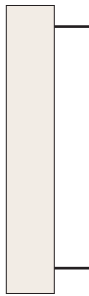
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Reference Plans.  
Not part of current review.  
Future Deferred Submittal to be reviewed by Design  
Review Board.

- 1 Aluminum channel letters w/ internal halo lighting  
powder coated to match PMS 9043U bone.  
Fonts: Liberator regular.  
Letter height: 12".
- 2 NOTE: Sign area 2 sq. ft.



1 1/2"  
2"



END VIEW  
Scale: 1-1/2"=1'-0"

FRONT VIEW



PROJECT	DESCRIPTION	PHASE	SCALE	DATE/REVISIONS	PAGE
THE LIVERY ON MAIN	 BUILDING ADDRESS	DEVELOPMENT	3/8"=1'-0"	10.27.2020	9.0

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# THE LIVERY ON MAIN PRELIMINARY LIGHTING

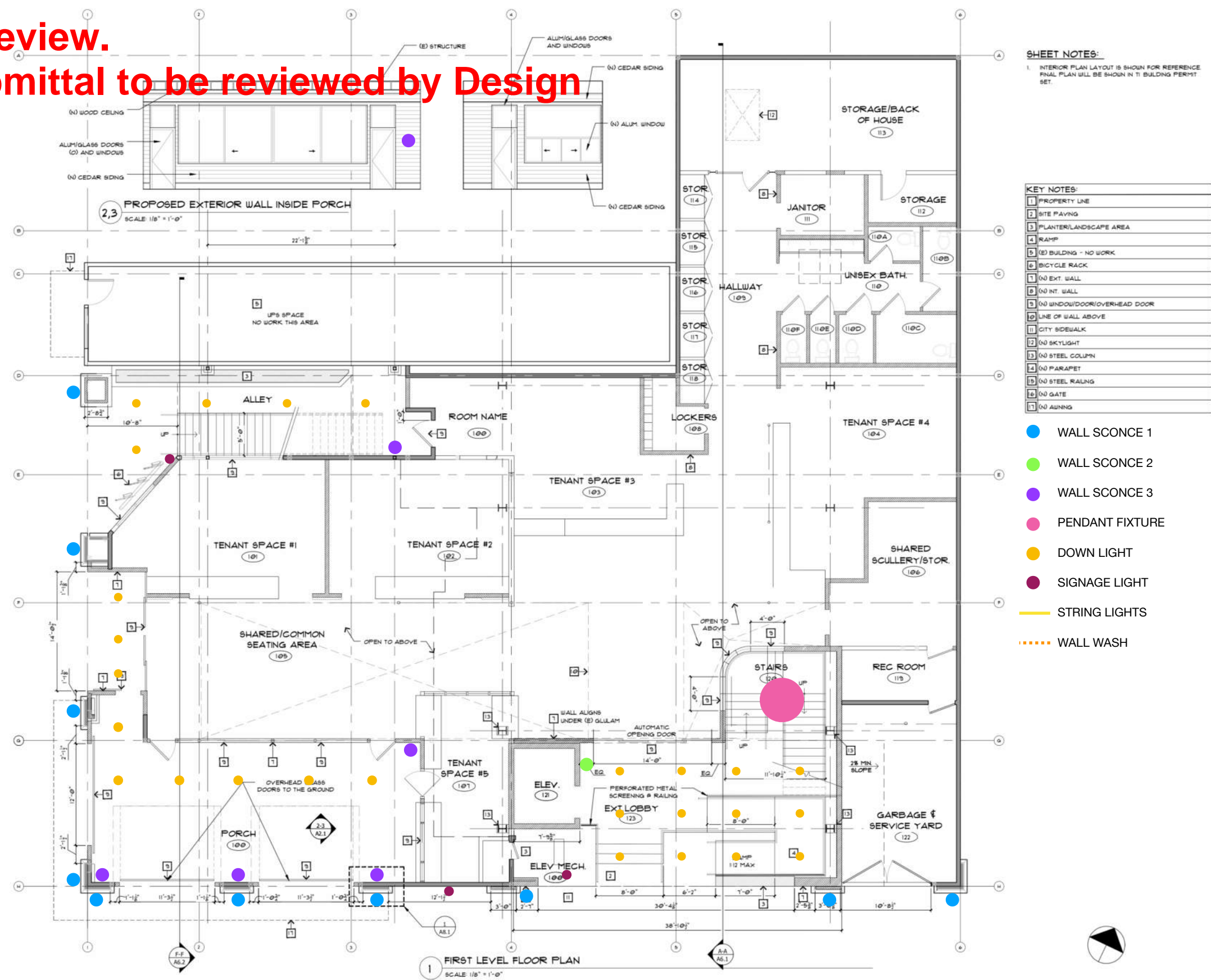
Design Review Guidelines for Site Lighting:

- Lighting from a variety of sources which is no brighter or higher than is necessary should be incorporated to provide adequate visibility and security
- The style, intensity and orientation of lighting should be designed to limit glare for vehicular traffic, pedestrians, or project neighbors, and to minimize upward glare
- Lighting fixtures should be shielded or otherwise designed to minimize upward glare.
- Provide energy-efficient exterior lighting. Solar-power lights should be utilized whenever possible.

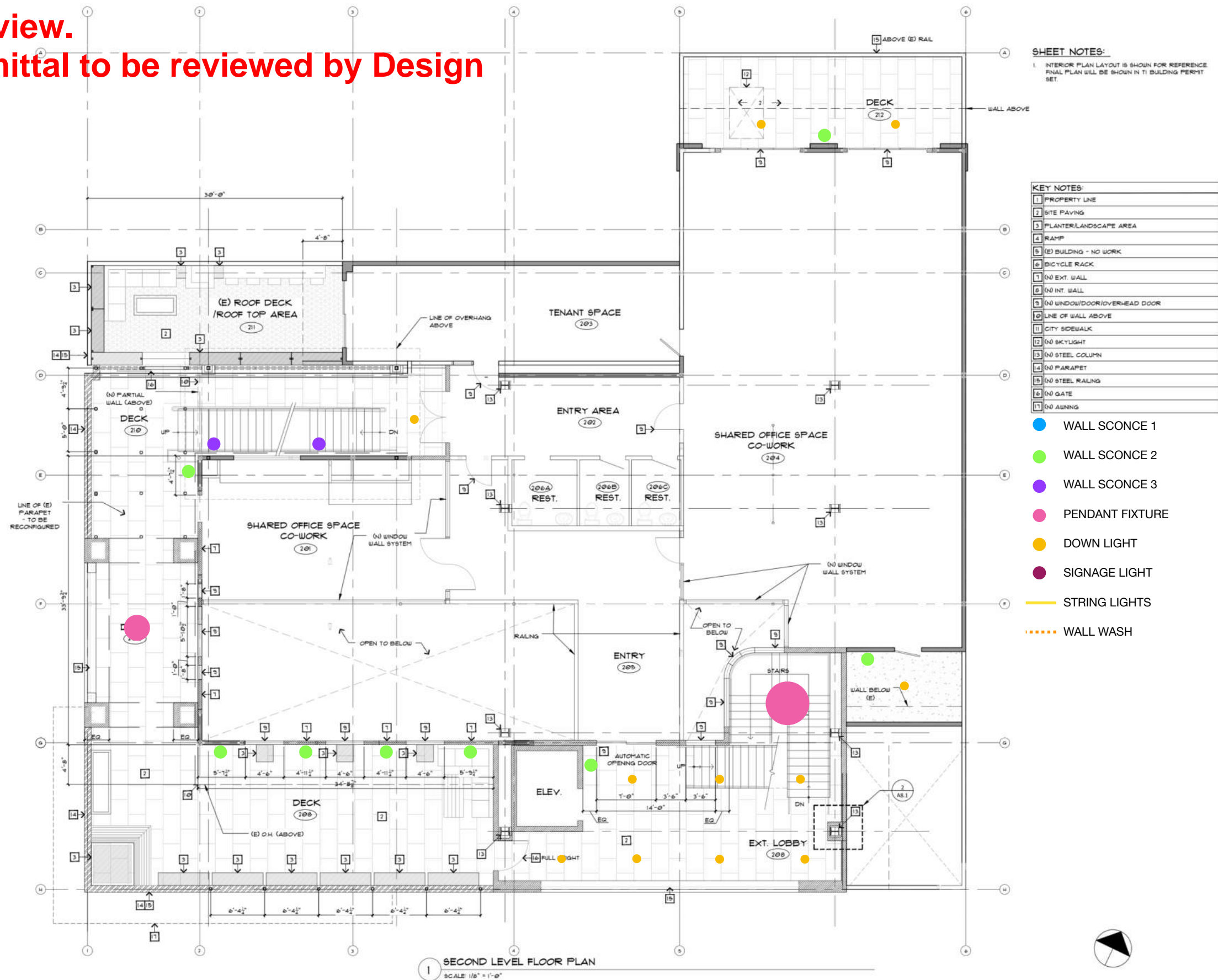
Per comments from the City:

- All new lighting shall be subject to a 90-day post installation inspection to allow for adjustment and assure compliance with the Design Review guidelines
- All exterior lighting shall be 2700K.

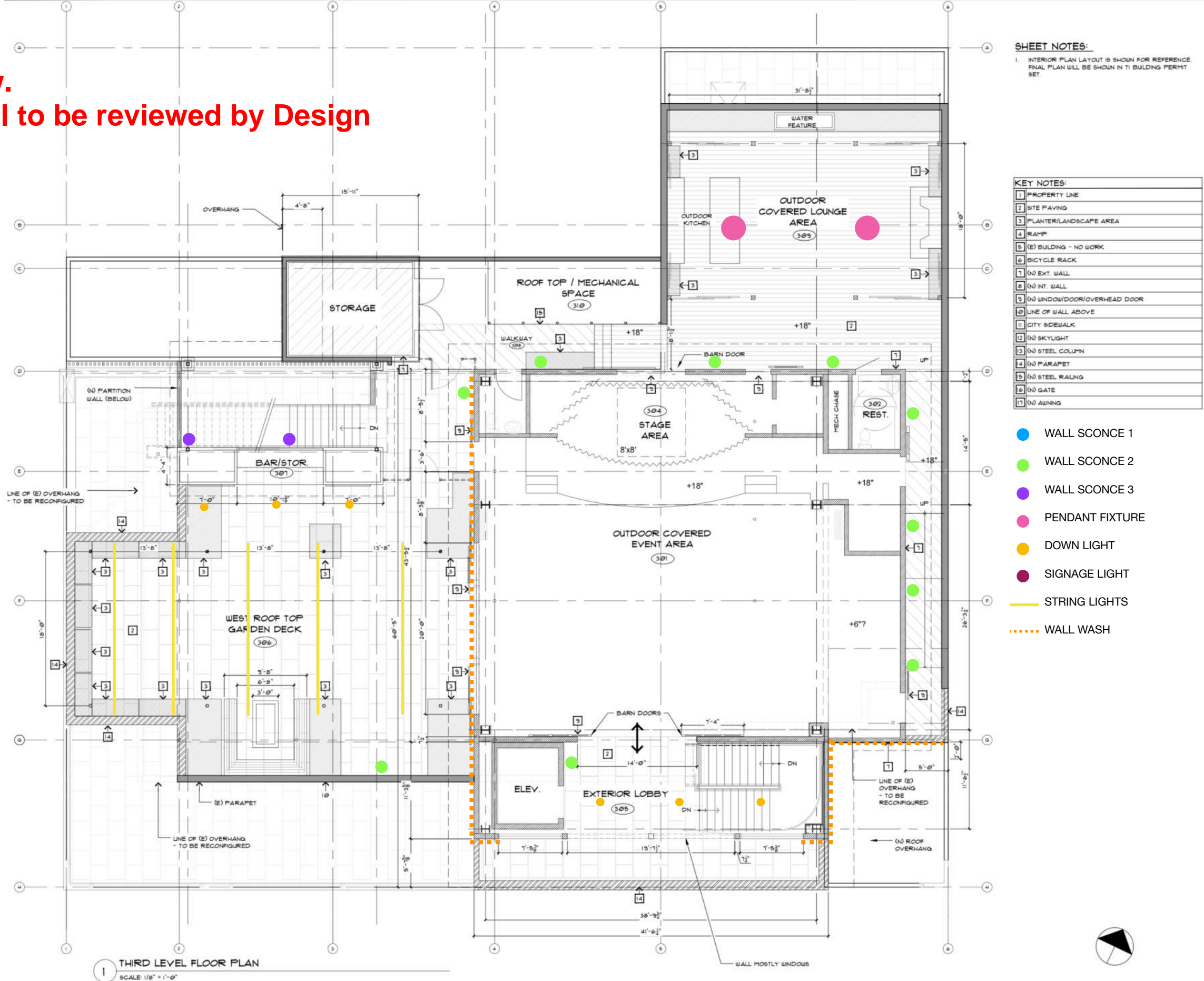
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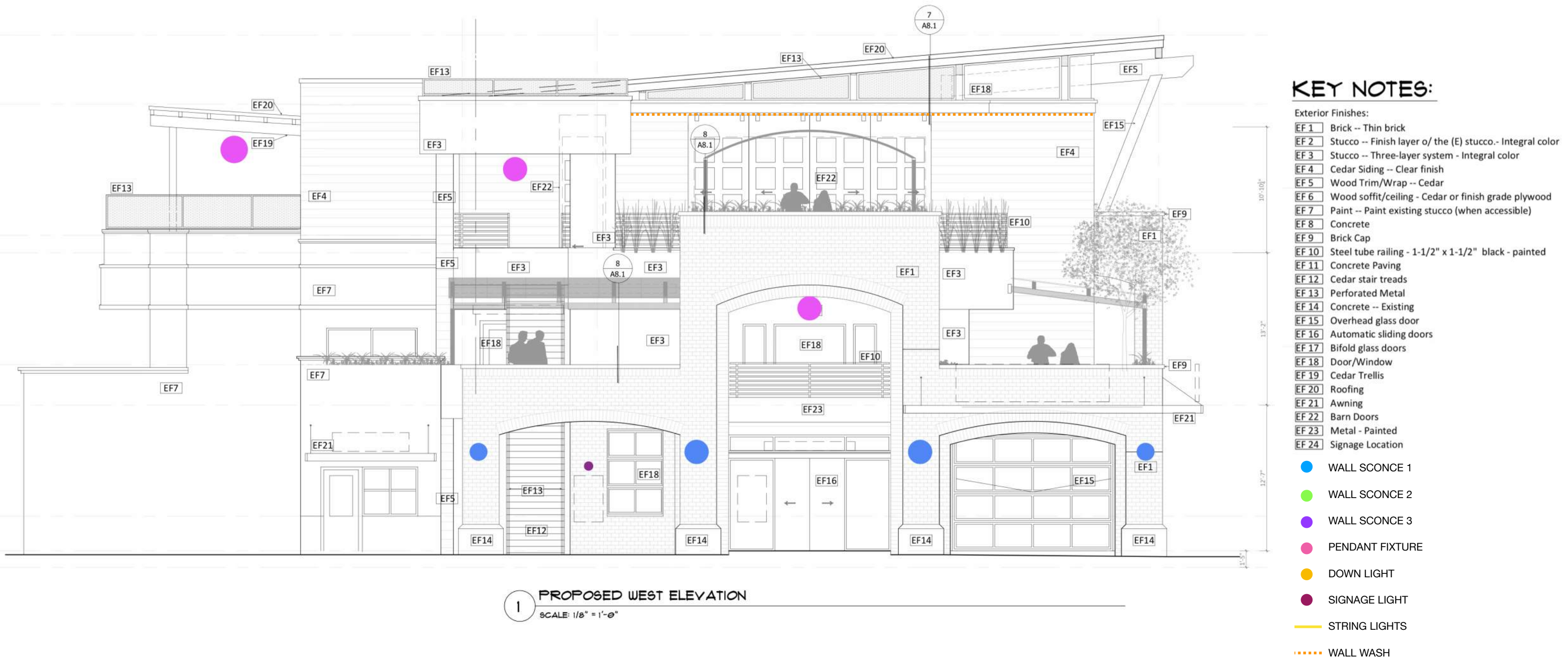
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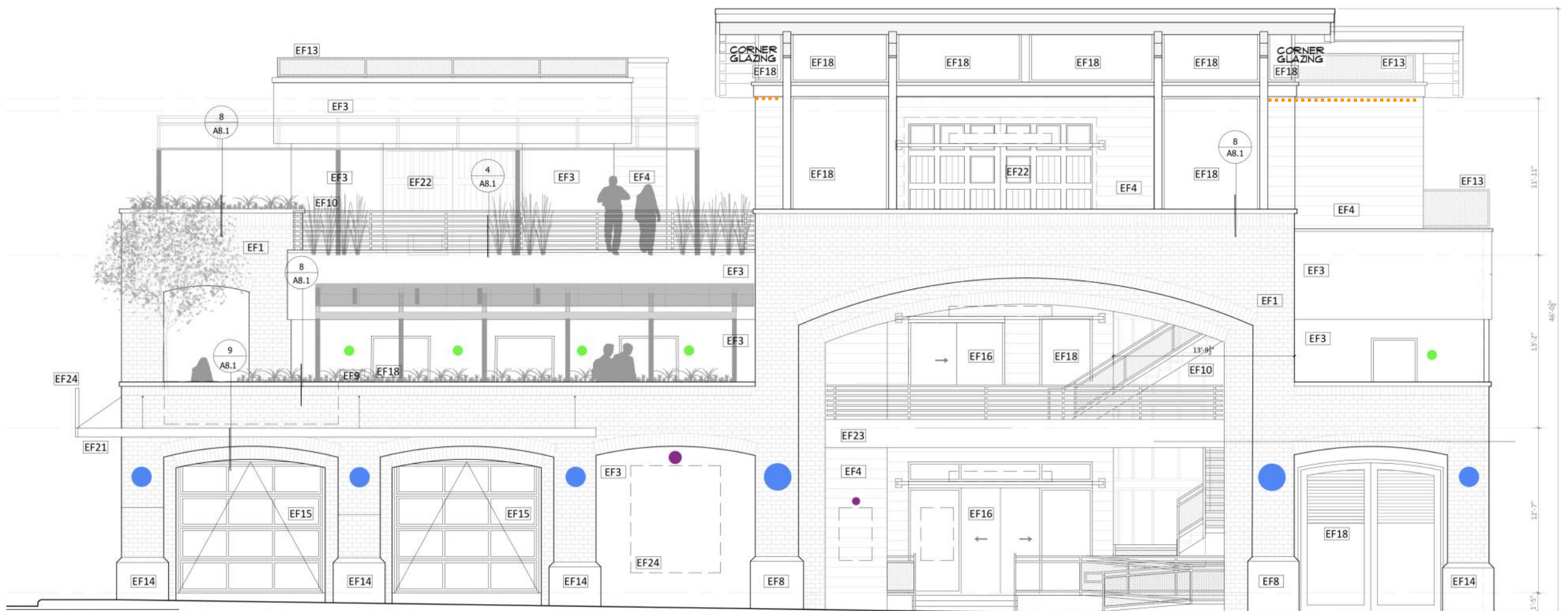
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2 PROPOSED SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

## KEY NOTES:

### Exterior Finishes:

- EF 1 Brick -- Thin brick
- EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
- EF 3 Stucco -- Three-layer system - Integral color
- EF 4 Cedar Siding -- Clear finish
- EF 5 Wood Trim/Wrap -- Cedar
- EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
- EF 7 Paint -- Paint existing stucco (when accessible)
- EF 8 Concrete
- EF 9 Brick Cap
- EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
- EF 11 Concrete Paving
- EF 12 Cedar stair treads
- EF 13 Perforated Metal
- EF 14 Concrete -- Existing
- EF 15 Overhead glass door
- EF 16 Automatic sliding doors
- EF 17 Bifold glass doors
- EF 18 Door/Window
- EF 19 Cedar Trellis
- EF 20 Roofing
- EF 21 Awning
- EF 22 Barn Doors
- EF 23 Metal - Painted
- EF 24 Signage Location

- WALL SCENCE 1
- WALL SCENCE 2
- WALL SCENCE 3
- PENDANT FIXTURE
- DOWN LIGHT
- SIGNAGE LIGHT
- STRING LIGHTS
- ..... WALL WASH