

City Council

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Vice Mayor Patrick Slayter

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Una Glass



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Rebecca Mansour

City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: April 17, 2019
Agenda Item: 8A
To: Design Review Board
From: Dana Morrison, Assistant Planner
Subject: Design Review
Recommendation: Approval with Conditions
Applicant/Owner: Elizabeth Putnam of Burbank Housing
File Number: 2019-13
Address: 699 Gravenstein Highway North
CEQA Status: Categorical Exemption: Section 15332: Class 32
General Plan: High Density Residential
Zoning: PC: Planned Community

Introduction:

This is a Design Review application requesting approval to for an addition to the existing community building and site improvements in the northwest parking lot to the Planned Community which is located at 699 Gravenstein Highway South. The Planned Community District which was granted Use Permit approval in 1982, involving the development of a 60 (2-3 bedroom) units.

Burbank Housing is updating and reconfiguring some of their existing apartments to be ADA accessible. There are 3 ADA units that are existing which need modification to be brought up to the current code and there are 3 units being converted from standard units to ADA. This proposed change triggers the need to add additional ADA parking and improved paths of travel from the update/new ADA units to their designated parking stalls.

Specifically this application addresses the following; 1) request to expand the existing Burbank Housing community building, 2) request to conduct site improvements for improved path of travel and, 3) reconfiguration of the parking lot for creation of new ADA spaces, this includes a Reasonable Accommodation request to approve the reduced parking resulting from the site improvements. A request to remove various site trees has been submitted, but will be heard at a later date (these requests are not required for the proposed improvements).

Project Description:

Design Review:

1) Community Room Building Redesign and Expansion

The project involves the redesign of the existing community room building. The current building is 484 square feet and consists of a laundry room, an office and a non-accessible toilet room. The applicant is seeking approval to add an additional 297 square feet to the building, for a new total

square footage of 781. The new design would still include laundry and an office, but would also provide a small social meeting space with a kitchenette and an accessible restroom. Some design changes are proposed, but the height of the structure and the appearance of the building will match this existing building and adjacent buildings' designs.

2) Improvements to the Path of Travel –

The applicant is proposing to provide accessible slopes and conditions that improve the path of travel to and from the existing, and to-be-created, accessible units. These improvements would allow access from the units to the sidewalk in front of the site, the community building, mailboxes and to one of the site's trash enclosures. The majority of this improvement work involves making the slope of the existing walkways ADA compliant, but also includes a new concrete walkway to be added and three new accessible ramps (see page A100 in Plans).

3) Parking/Reasonable Accommodation

Burbank Housing is remodeling and updating 3 existing ADA dwelling units and converting 3 existing standard living units to be ADA units, for a total of six accessible dwelling units on the site. As part of this process Burbank Housing has proposed a reconfiguration of the existing parking lot in order to provide six accessible assigned parking stalls for these units (one accessible parking space per dwelling unit), and one unassigned van accessible parking stall to be located near the community building. These revisions will result in the loss of one parking space in the northwest lot that is being reconfigured due to additional space requirement of ADA parking. A Reasonable Accommodation is being requested to ensure Zoning Ordinance consistency for the loss of this parking spot.

Public Comment:

One comment was received from the public, from a resident who noted that the vents from the laundry room, located in the community building, are directed towards one of the complex's apartment clusters. The resident expressed concern over the fumes from chemicals used in detergents etc. As such, Planning Staff is recommending that the Conditions of Approval include a requirement for the vents for the laundry to be relocated to the south or eastern side of the building (facing the parking areas).

City Departmental Comment:

The following City Departments reviewed the application: Building and Safety, Engineering, and Fire, Public Works, Police, as well as the City Manager and City Arborist. The following comments were received:

- Building and Safety: Project will require review, inspection and final approval by CASP certified specialist.
- Fire: The Community building will require new or modifications to the sprinkler system and fire alarm system.
- Public Works: Applicant shall insure access to all water meters and backflow assemblies are maintained.
- City Arborist: Parking lot construction near the redwood tree south of the community building will need to be done with care to avoid impacting this tree. As such the City Arborist has recommended a Condition of Approvals for monitoring said tree.

Environmental Review:

The proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public

or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Section 15301(e)(1) states the following: "Additions to existing structures provided that the addition will not result in an increase of more than: 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less." The project is consistent with this categorical exemption in that it involves the reuse and minor expansion of an existing structure, and the reconfiguration of an existing parking lot.

General Plan Consistency:

The General Plan Land Use Designation for this property is High Density Residential. Per the General Plan this land use designations: Designates areas suitable for multifamily dwellings at a density of 12.1 to 25 units per acre. This designation is suitable for duplexes, apartments, townhouses, and other attached dwelling units. The proposed use includes the update and expansion of an existing community building, parking improvements and updates to the path of travel for an existing Planned Community, 60-unit, apartment complex. The proposed project is consistent with this land use designation.

Zoning Ordinance Consistency:

The site is zoned as a Planned Community (PC) District. The Zoning Ordinance states the following regarding the PC District: *The purpose of the PC Planned Community District is to allow for comprehensively designed and well-planned residential developments which create an integrated community wherein all land uses are planned and designed in a comprehensive "master plan" approach, including such aspects as roadways, open space, infrastructure, architecture, and landscaping. The Planned Community District provisions are intended to encourage, through utilizing freedom of design which may deviate from the strict requirements of, but which will surpass the quality required by, the zoning regulations, a variety of residential, commercial, industrial, or a combination of such uses within the same development. These provisions shall be applicable to all parcels within the PC District and shall establish all land use controls for property within the PC District.* The proposed community room expansions/update and path of travel improvements are consistent with the PC District as they are improvements to an existing developed Planned Community. The surrounding properties are either zoned as County Rural Residential, Planned Community Residential or General Commercial.

There are no base district zoning standards for the Planned Community District, and the 1982 Planned Community Use Permit approval does not include provisions regarding setbacks for building expansions etc. However, the proposed community building is located in the center of the existing apartment complex more 75 feet from the nearest property lines. The proposed community building redesign maintains these large setbacks. The proposed height of the building will remain the same (18'-5 1/2").

Parking/Reasonable Accommodation Request:

Per SMC Chapter 17.425: *A request for reasonable accommodation may be made by any person with a disability, their representative or any other entity, when the application of a zoning law or other land use regulation, policy or practice acts as a barrier to fair housing opportunities. A person with a disability is a person who has a physical or mental impairment that limits or substantially limits one or more major life activities, anyone who is regarded as having such impairment or anyone who has a record of such impairment. This chapter is intended to apply to those persons who are defined as disabled under the Acts.*

A request for reasonable accommodation may include a modification or exception to the rules, standards and practices for the siting, development and use of housing or housing-related facilities that would eliminate regulatory barriers and provide a person with a disability equal opportunity to housing of their choice. The Planning Director will grant a request for an accommodation whenever the accommodation is necessary and reasonable.

The proposed site redesign would reduce the number of parking stalls on site to 101 spaces. This would result in a net loss of 1 parking space, for the creation of 7 ADA compliant parking spaces. The applicant is requested a Reasonable Accommodation Request under the Fair Housing Act to allow for this reduction (as found in SMC Section 17.425). Both the Federal Fair Housing Act and the California Fair Employment and Housing Act (the Acts) allow an applicant to request “reasonable accommodations” to request exceptions or modifications to regulations to remove barriers to the creation or retention of housing for persons with disabilities. These requests often occur when an applicant is modifying an existing site or facility to facilitate the retention or creation of accessible housing, or upgrades of a unit to current ADA standards. This often includes modification of parking, as ADA parking requirements for size and type of spaces has changed over time to require additional space (for van accessible spaces, etc.).

There are currently 102 parking spaces on the Burbank property. This was the original parking requirement when the Burbank Housing Planned Community Use Permit was approved in June 1982. Per their Use Permit approval “parking spaces and numbers shall be in accordance with City parking ordinance.” The proposed reduction of 101 parking spaces would be one space less than the original approval.

Under the current Zoning Ordinance, the site would require 108 parking stalls (90% of the required parking for deed restricted affordable housing, which would otherwise be two spaces per 2-3 bedroom units). The site has 60 (2- and 3- bedroom) units, and the use is deed-restricted affordable housing (120 spaces x 90% = 108 spaces). However, the current Zoning Ordinance also allows on-street parking spaces to count towards the parking total of a project site. There are approximate 5 on-street parking spaces along the frontage (see below). Additionally, there is a bus stop directly to the north of the site’s entry, which helps to serve many of the residents. With approval of the Reasonable Accommodation the site will be consistent with the Zoning Ordinance.



Required Findings:

Required Reasonable Accommodation Findings:

The written decision to grant or deny a request for reasonable accommodation will be consistent with the Acts and shall be based on consideration of the following factors:

1. Whether the housing, which is the subject of the request, will be used by an individual disabled under the Acts.
2. Whether the request for reasonable accommodation is necessary to make specific housing available to an individual with a disability under the Acts.
3. Whether the requested reasonable accommodation would impose an undue financial or administrative burden on the City.
4. Whether the requested reasonable accommodation would require a fundamental alteration in the nature of a City program or law, including but not limited to land use and zoning.
5. The accommodation is necessary:
 - a) The accommodation is necessary if, without the accommodation, the person with a disability would not have an equal opportunity to live in the dwelling of his or her choice.
 - b) A person would not have an equal opportunity to live in a dwelling if, without the accommodation:
 - i. The person would be excluded from a neighborhood; or
 - ii. The person would have less of an opportunity to live in the neighborhood or the particular dwelling than persons who do not have disabilities.
6. The accommodation is reasonable. An accommodation is reasonable if it:
 - a. Does not create an undue financial or administrative burden for the City; and
 - b. Will not fundamentally alter the zoning scheme of the City.
7. Potential impact on surrounding uses.
8. Physical attributes of the property and structures.
9. Alternative reasonable accommodations which may provide an equivalent level of benefit.

Required Design Review Findings:

Section 17.310.030.B.2 of the Zoning Ordinance establishes the following Design Review Procedure: In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

- a) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol.
- b) The design provides appropriate transitions and relationships to adjacent properties and the public right of way.
- c) It would not impair the desirability of investment or occupation in the neighborhood.
- d) The design is internally consistent and harmonious.
- e) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter.

Staff Analysis:

The project is requesting approval to redesign the existing community building, improve paths of travel, as well as redesign the parking lot is to reduce the number of off-street parking spaces for 699 Gravenstein Highway North from 102 to 101, a net loss of 1 space (this request includes a Reasonable Accommodation). This request is to accommodate the creation of 4 additional ADA spaces (in addition to the 3 existing ADA spaces). Overall the requests appear appropriate.

The site is being redesigned to accommodate the properties' redesigned and newly created ADA units (totaling 6 units), to increase the access to housing for disabled individuals. The requested parking reduction is necessary to create ADA compliant parking spaces for the 6 ADA units, and an ADA van accessible stall for the project's community building. Staff has reviewed the site and alternatives proposed by the applicant, and there does not appear to be any other appropriate areas to create additional parking. Other options considered were not reasonably feasible, such as the further extension of this lot to the east, which would require removal of a large redwood tree south of the community building.

The proposed accommodation would not create a financial or administrative burden for the City as the financial burden of implementing and constructing the requested changes falls on the applicant. The proposed parking reduction would not create a fundamental alteration in the nature of a City program or law, as the proposed accommodation will only result in the loss of one parking space and, with the on-street parking spaces included, the site will not be under-parked per their 1982 approved Use Permit. Without this accommodation the facility will not have adequate ADA parking.

Based on the above findings, staff believes the request is reasonable. The proposed site redesign, which will accommodate the new parking stalls and path of travel, are minimal and would not have an impact on the surrounding residential units beyond construction activities. The proposed site redesigns also improve crosswalks and paths of travel within the project.

The application was routed to the City Departments for comments and the only comment relating to the ADA site redesign and accommodation was from the Building Department and City Arborist. The Building Official noted that the project will require review, inspection and final approval by a CASP certified specialist (Certified Access Specialist). The City Arborist expressed concerns regarding the two trees located near where some of the path of travel and parking lot improvements are proposed. As such, she has recommended appropriate mitigation measures and protections that can be used to ensure the health and welfare of the trees on site during construction. These have been included as Conditions of Approval. As such, staff supports the approval of this request.

The project also involves the development of an updated community building and paths of travel for newly refurbished or created ADA apartment units. Overall, the Board could find that this project is appropriate for the location and greater Sebastopol for several reasons.

The project complies with the General Plan in that it is a community building located within a Planned Community, and the site and design updates will revitalize the existing planned community apartment complex. The Board could also find the project to be compatible with the neighborhood and greater Sebastopol in that the building will have materials, colors, and architectural features, which are present throughout the Planned Community development and that the overall design is very similar to the existing structure. The site improvements also greatly enhance the path of travel for all residents of the facility.

The project will contain trees and plantings, which provides a natural aesthetic element to the overall urban character of the site. Further Conditions of Approval from the City Arborist to ensure the protection of any trees located near the path of travel improvements have been included and the project will be returning at a later date for review of proposed site tree removals and replacement landscaping/maintenance plans.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report, if there is a consensus that the design of the project is compatible with the site.

Alternatively, the Board may find that revisions are necessary and a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Attachments:

- Master Planning Application Form
- Project Description Letter
- Reasonable Accommodation Letter
- Location Map
- Site Photos
- Arborist Report
- Plan Submittal

DESIGN REVIEW PERMIT: 2019-13
699 Gravenstein Highway North
Update and expand existing Community Building, improve paths of travel, and parking lot redesign

RECOMMENDED FINDINGS FOR APPROVAL:

1. That the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
2. That the project is consistent with the General Plan Land Use Designation in that the proposed use includes the update and expansion of an existing community building, parking improvements and updates to the path of travel for an existing Planned Community, 60-unit, apartment complex.
3. That the project is consistent with the Zoning Ordinance in that it complies with the PC: Planned Community District and the applicable development standards as approved and conditioned.
4. That the design of the project will be compatible with the neighborhood and the general visual character of Sebastopol in that redesign and expansion to the community building will revitalize a structure which was constructed decades ago will constructed of materials, colors, and contain architectural features, which are present throughout the Planned Community development and that the overall design is very similar to the existing structure.
5. That the project will not impair the desirability of investment or occupation in the neighborhood in that it will redevelop an existing structure and improve existing paths of travel.
6. That the project provides appropriate transitions and relationships to adjacent properties and the public right-of-way in that building is appropriately setback from the property lines and adjacent buildings.

RECOMMENDED CONDITONS OF APPROVAL:

1. Approval is granted for the Design Review submittal described in the application and the plans date stamped February 7, 2019. This approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section §17.450.020(4) of the Zoning Ordinance.
2. The applicant shall return for review of the proposed Tree Removals, including a proposed replacement and maintenance landscape plan before issuance of any building permits or any site improvements.
3. All construction shall conform to the approved plans, unless the design is modified herein. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
4. The project shall require review, inspection and final approval by CASP certified specialist.

5. The Community building shall require new or modifications to the sprinkler system and fire alarm system.
6. Vents for the Community building shall be orientated towards the south or east (towards facing the parking areas), not the north or west.
7. The applicant shall insure access to all water meters and backflow assemblies are maintained.
8. Construction details for the repaving that provides for root protection shall be incorporated in to the construction documents. These documents shall be reviewed and approved by the City Arborist.
9. During demolition or grading or other construction activities within the driplines of protected trees a qualified, certified arborist shall be present to observe the work. Roots shall be carefully exposed, avoiding damaging them. Any roots which cannot be preserved shall be cleanly cut under the supervision of the arborist. If in the opinion of the arborist the number of roots which must be cut significantly compromise the health and structural stability of the tree, they will recommend mitigation procedures or the possible removal of the tree.
10. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
11. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.
12. Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
13. The applicant may be required to obtain approval of improvement plans by the Engineering Department, and fulfill any requirements necessary for issuance of a Building Permit, prior to approval of any site improvements or Building Permits. The applicant may need to return to the Planning Commission and/or the Design Review Board for review at City staff's discretion, if any site changes are necessary, as a result of improvement plans.

Reasonable Accommodation Request: 2019-13
699 Gravenstein Highway North
Reduce site parking to 101 spaces, from 102, to create 3 new ADA compliant parking spaces, for a total of 7 ADA compliant parking spaces

RECOMMENDED FINDINGS FOR APPROVAL

1. That the application is categorically exempt from the requirements of CEQA under Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
2. That the site is being redesigned to accommodate the properties' redesigned and newly

created ADA units (total of 6 ADA dwelling units), to provide additional housing opportunities for disabled individuals.

3. That there are no reasonable solutions to add additional parking to the site. The requested parking reduction is necessary to create ADA compliant parking spaces for the 6 ADA units, and an ADA van accessible stall for the project's community building.
4. That the proposed accommodation would not create a financial or administrative burden for the City as the financial burden of implementing and constructing the proposed changes fall on the applicant.
5. That the proposed parking reduction would not create a fundamental alteration in the nature of a City program or law, as the proposed accommodation will only result in the loss of one on-site parking space, and on-street parking spaces are available to supplement the on-site parking.
6. That without this accommodation the facility will not have adequate ADA parking and based on the above the request is reasonable.
7. That the proposed site redesign, to accommodate the new parking stalls and path of travel, are minimal and would not have an impact on the surrounding residential units beyond construction activities.
8. That the proposed site redesign improves crosswalks and paths-of-travel for the entire project.

RECOMMENDED CONDITIONS OF APPROVAL:

1. Approval is granted for the Reasonable Accommodation Request described in the application date-stamped February 13, 2019, except as modified by these Conditions of Approval, and is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this permit from the Planning Director, pursuant to Zoning Ordinance §17.450.020(4).
2. The project shall require review, inspection and final approval by a CASP certified specialist (Certified Access SPecialist).



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167 (Phone) or (707) 823-1135 (Fax)
www.ci.sebastopol.ca.us

MASTER PLANNING APPLICATION FORM

PROJECT INFORMATION:

ADDRESS:	699 GRAVENSTEN HWY N
PARCEL #:	06-025-071 + 072 + 073
PARCEL AREA:	3.56 ACRES

FOR CITY USE ONLY

PLANNING FILE #:	2019 / 13
DATE FILED:	2.7.2019
TOTAL FEES PAID: \$	1405 ⁰⁰
RECEIVED BY:	DM
DATE APPLICATION DEEMED COMPLETE:	

APPLICANT OR AGENT:

Name: Elizabeth Putnam
Email Address: elizabeth@waasoe.com
Mailing Address: 990 A street Ste 202
City/State/Zip: San Rafael CA 94901
Phone: 415 485 9797
Fax: _____
Business License #: _____
Signature: [Signature]
Date: Feb 6, 2019

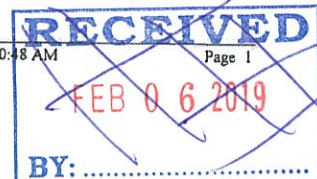
OWNER OF PROPERTY

IF OTHER THAN APPLICANT:

Name: Marianne Lim
Email Address: MLim@burbankhousing.org
Mailing Address: 790 Sonoma Ave.
City/State/Zip: Santa Rosa CA 95404
Phone: 707 526 9782
Fax: _____
Business License #: _____
Signature: [Signature]
I certify that this application is being made with my consent.
Date: 2-6-19

OTHER PERSONS TO BE NOTIFIED: (Include Agents, Architects, Engineers, etc.).

Name: <u>JAMES COLES</u>	Name: _____
Email Address: <u>jcoles@housing-tools.com</u>	Email Address: _____
Mailing Address: <u>3400 Cottage Wy #A4</u>	Mailing Address: _____
City/State/Zip: <u>Sacramento, CA 95825</u>	City/State/Zip: _____
Phone: <u>530-715-0744</u>	Phone: _____
Fax: _____	Fax: _____



PROJECT DESCRIPTION:

DESCRIBE IN DETAIL, the proposed project and permit request. (Attach additional pages, if needed):

Renovation + Expansion of (e) community bldg., site accessibility
improvements, parking lot changes, + Admin Reasonable
Accommodation Review

This application includes the checklist for the type of application requested:

☒ Yes

☐ No

Please indicate the type(s) of application that is being requested (example: Use Permit, Design Review, Variance, Planned Community Rezone, etc.):

Design Review, tree Removal, Reasonable Accommodation

Please describe existing uses (businesses, residences, etc.) and other structures on the property:

multifamily residential, community building (includes office),
maintenance

DEVELOPMENT DATA:

Community Room BUILDING only

SQUARE FEET BUILDING EXISTING:	484 #	<input type="checkbox"/> N/A
SQUARE FEET BUILDING DEMOLISHED:		<input checked="" type="checkbox"/> N/A
SQUARE FEET BUILDING NEW:	781 #	<input type="checkbox"/> N/A
NET CHANGE IN BUILDING SQUARE FEET:	297 #	<input type="checkbox"/> N/A
NUMBER OF DWELLING UNITS EXISTING:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NUMBER OF DWELLING UNITS PROPOSED:	<input type="checkbox"/> 0 Bedrooms <input type="checkbox"/> 2 Bedrooms <input type="checkbox"/> 4+ Bedrooms	<input type="checkbox"/> 1 Bedrooms <input type="checkbox"/> 3 Bedrooms <input checked="" type="checkbox"/> N/A
NET CHANGE IN DWELLING UNITS:		<input checked="" type="checkbox"/> N/A
SETBACKS:	<u>Existing:</u> <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input type="checkbox"/> N/A	<u>Proposed:</u> <input type="checkbox"/> Front Yard _____ <input type="checkbox"/> Side Yard _____ <input type="checkbox"/> Rear Yard _____ <input checked="" type="checkbox"/> N/A

RECEIVED

FEB 07 2019

BY:

EXISTING LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input type="checkbox"/> N / A
PROPOSED LOT DIMENSIONS:	Front: _____ Left: _____	Rear: _____ Right: _____	<input checked="" type="checkbox"/> N / A
EXISTING LOT AREA:	<u>155,073.6</u> Square Feet		<input type="checkbox"/> N / A
PROPOSED LOT AREA:	_____ Square Feet		<input checked="" type="checkbox"/> N / A
BUILDING HEIGHT:	Existing: <u>± 18'-5 1/2"</u>	Proposed: _____	<input checked="" type="checkbox"/> N / A
NUMBER OF STORIES:	Existing: <u>1</u>	Proposed: <u>1</u>	<input checked="" type="checkbox"/> N / A
PARKING SPACE (S):	Existing: <u>102</u>	Proposed: <u>101</u>	<input type="checkbox"/> N / A
ZONING	Existing: <u>PC</u>	Proposed: <u>PC</u>	<input checked="" type="checkbox"/> N / A

Will the project involve a new curb cut or driveway?

☐ Yes

☒ No

Are there existing easements on the property?

☒ Yes

☐ No

Will Trees be removed?

☒ Yes

☐ No

If yes, please describe (**Example:** Type, Size, Location on property, etc.)

see attached application

Will Existing Landscaping be revised?

☒ Yes

☐ No

If yes, what is square footage of new or revised landscaping?

tree replacement see attached application.

Will Signs be Changed or Added?

☐ Yes

☒ No

Business: Hours of Operation? Open: _____ Close: _____

Is alcohol service proposed?

☐ Yes

☒ No

If yes, what type of State alcohol license is proposed? _____

If yes, have you applied to the State Alcoholic Beverage Control for a license?

☐ Yes

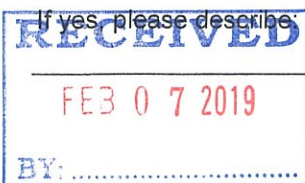
☒ No

If this is a restaurant, café or other food service, bar, or nightclub, please indicate total number of seats: _____

Is any live entertainment proposed?

☐ Yes

☒ No



INDEMNIFICATION AGREEMENT

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

[Signature] 2-7-19 2019-13
Applicant's Signature Date Signed Planning File Number

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

NOTICE OF MAILING:

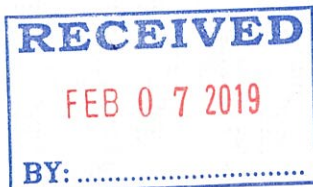
Email addresses or facsimiles will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.

Please sign and acknowledge you have been notified of the Notice of Mailing for applications and have provided an email address or fax number.

[Signature]
Signature

Marianne Lim
Director of Housing Development
Printed Name

NOTE: It is the responsibility of the applicant and their representative to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however the applicant has responsibility for determining and following applicable regulations.



NEIGHBOR NOTIFICATION

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, resident and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project:

☐ Yes



No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

WEBSITE REQUIRED FOR MAJOR PROJECTS

Applicants for major development projects (which involves proposed development of 25,000 square feet of new floor area or greater, or 25 or more dwelling units), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning's, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings



Exemption Questionnaire

STORM WATER LOW IMPACT DEVELOPMENT

PURPOSE: This questionnaire will determine *whether or not* you need to submit the 'Storm Water Low Impact Development Determination Worksheet' as part of this application. Any application that does not contain this questionnaire OR the Determination Worksheet will be deemed incomplete.

PROJECT ADDRESS:

TYPE OF APPLICATION

Your project is exempt from the 'Determination Worksheet' submittal requirement, if it falls under any of the below listed application categories. However, the City Staff may require the submittal of a 'Determination Worksheet', as determined on a case-by-case basis.

- ☐ Administrative Review (Interior Improvements or Use)
- ☐ Sign Review
- ☐ Temporary Use Permit
- ☐ Time Extension Request
- ☒ Tree Removal Permit
- ☐ Zoning Determination or Interpretation

The project is exempt from the 'Storm Water Low Impact Development Determination Worksheet' submittal requirement as determined by City Staff.

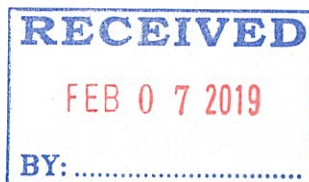
I certify this information:

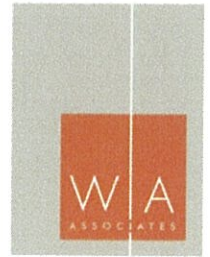

APPLICANT SIGNATURE

Marianne Lim
Director of Housing Development

PRINTED NAME

2/6/19
DATE





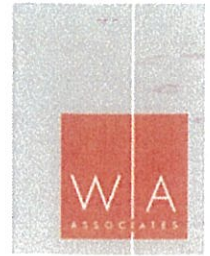
The scope of this project includes an expansion of a community room building, path of travel improvements and a reconfiguration of the parking lot for the multi-family residential complex at 699 Gravenstein Hwy North.

The current community room building has a laundry room, an office and a non-accessible toilet room. Burbank housing would like to provide a small social space for the residents, including a small kitchenette and an accessible restroom, while still providing a laundry room and office. The square footage of the building will increase by 297 square feet. The roof height will remain the same. While the roof changes, the exterior appearance of the building will be in the spirit of the existing and the adjacent buildings.

We are proposing improvements to the path of travel to provide accessible slopes and conditions that would allow access from the accessible units to the sidewalk in front of the site, the community building, one of the trash enclosures, the mailboxes and the tot lot. Most of this work involves making the slope of an existing walkway compliant; however, there will be a new concrete walkway added and three new accessible ramps.

We are reconfiguring the parking lot in order to provide six accessible assigned parking stalls, for the six accessible dwelling units, and one unassigned van accessible parking stall. Due to the fact that the site is sloped and has many heritage trees providing these larger stalls—one parking stall will be lost, new curbs will need to be added, and a small amount of turf will be paved.





February 11, 2019

Ms. Kari Svanstrom
Planning Director
City of Sebastopol
7120 Bodega Avenue
Sebastopol, CA 95472
Email: ksvanstrom@cityofsebastopol.org

Subject: 699 Gravenstein Hwy North

W|A Project #: 18011

Dear Ms. Svanstrom,

We are requesting a reasonable accommodation waiver for the parking stall requirement on behalf of Burbank Housing, Inc. The scope of work for our project at 699 Gravenstein Hwy North, a multifamily residential site, includes the conversion of six standard dwelling units into six accessible dwelling units.

In order to provide an accessible parking stall for each of the six accessible units, as well as a van accessible stall for the community room building, the parking lot needed to be reconfigured. The site has many heritage trees and significant slopes that made this reconfiguration a challenge. The solution we are presenting is a net loss of one visitor parking stall.

Section 17.110.030 of the Zoning ordinance states we would need to provide two spaces for each 2-3 bedroom unit. This project has 60, so we would be required to provide 120 parking stalls. However, the existing parking lot has only 102 stalls. Our proposal makes significant effort to match the non-conforming condition while providing parking for the new accessible units. We request that you allow us to provide 101 parking stalls.

If you have any questions or concerns please let us know. Thank you for your time and consideration.

Sincerely,

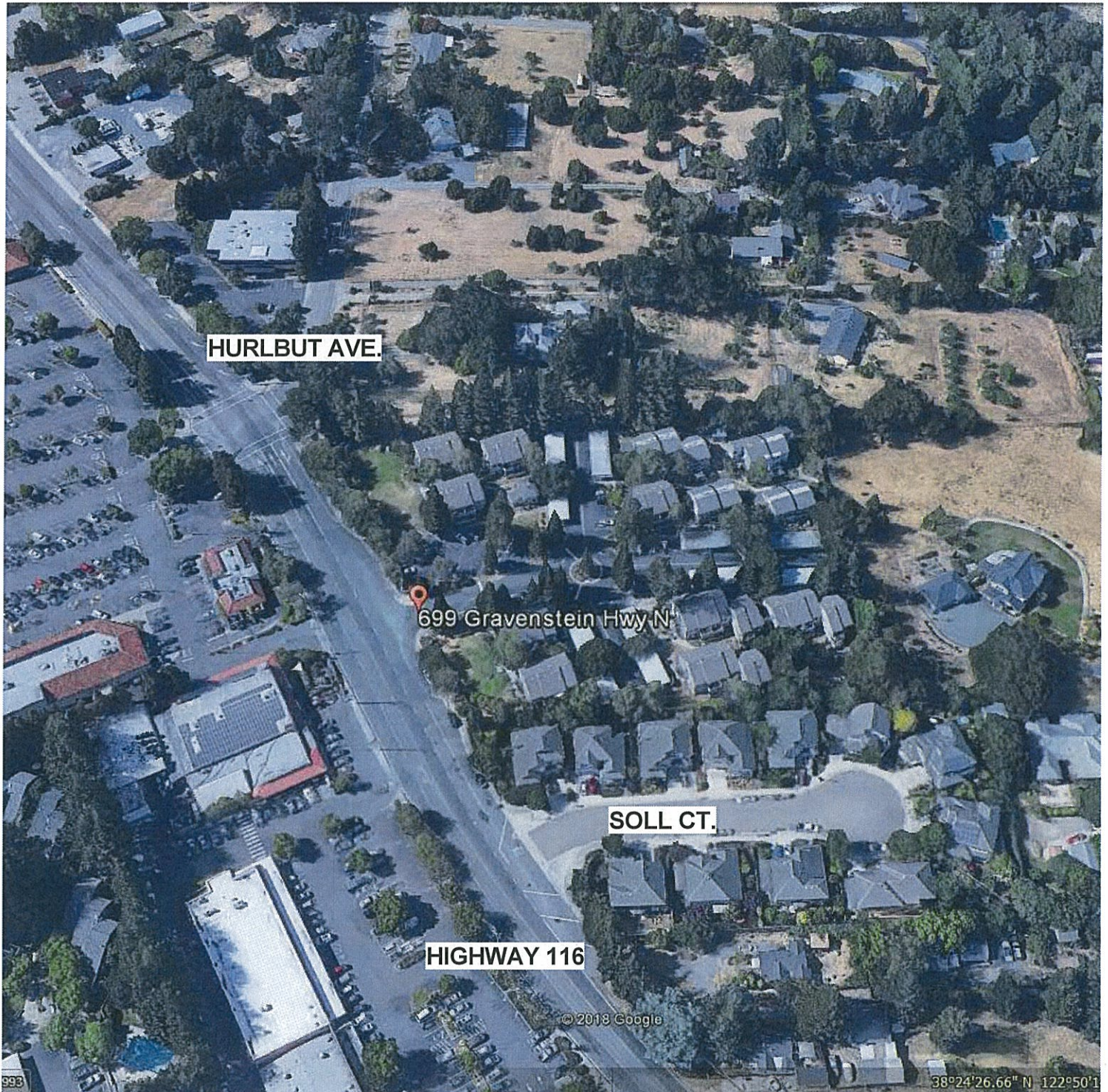
A handwritten signature in blue ink, appearing to read 'Elizabeth Putnam', is written over a horizontal line.

Elizabeth Putnam, AIA
Senior Project Manager

cc: Volker Strifler, Burbank Housing
James Coles, Housing Tools
Mike Rogers, Mike Rogers Development Consulting

EP/kp





GRAVENSTEIN APARTMENTS
BURBANK HOUSING DEVELOPMENT

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

JOB #:	18011.00
DATE:	01/16/19
DRAWN:	EP
CHECKED:	EM

T.01

SITE PHOTOGRAPHS



Across Site Towards East



Across Site Towards West

Gravenstein Apartments

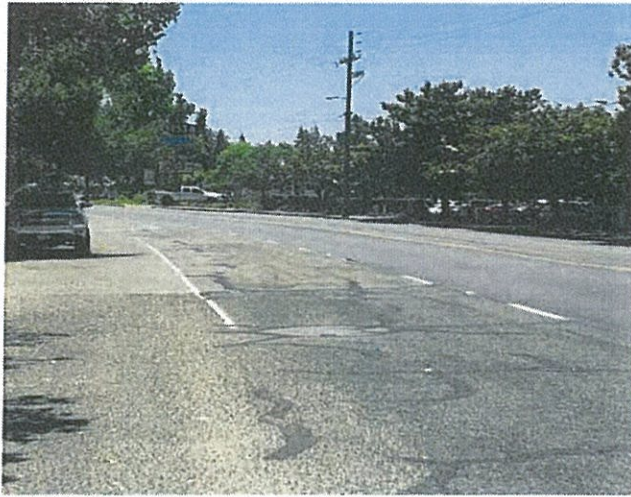


Across Site toward South

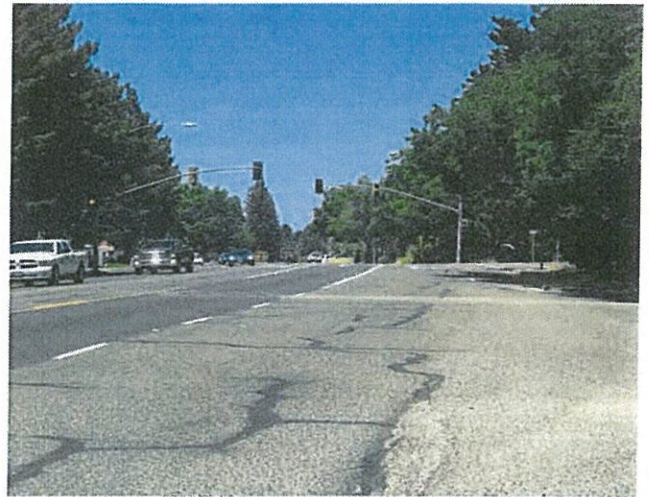


Across Site toward North

Gravenstein Apartments



Looking South Along Gravenstein Hwy N



Looking North Along Gravenstein Hwy N



Exterior View of Subject



Exterior View of Subject

SUBJECT PROPERTY PHOTOGRAPHS

Exterior View of Subject



Exterior View of Subject



View of Leasing Office

Typical Parking



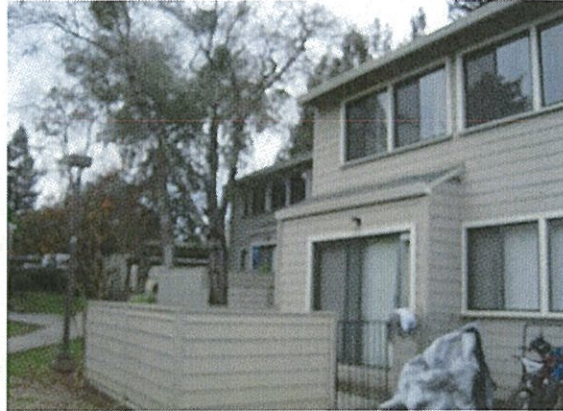
Typical Parking

Subject Driveway

SUBJECT PROPERTY PHOTOGRAPHS



Exterior View of Subject
(Photo Taken on December 4, 2018)



Exterior View of Subject
(Photo Taken on December 4, 2018)



Exterior View of Subject
(Photo Taken on December 4, 2018)



Exterior View of Subject
(Photo Taken on December 4, 2018)

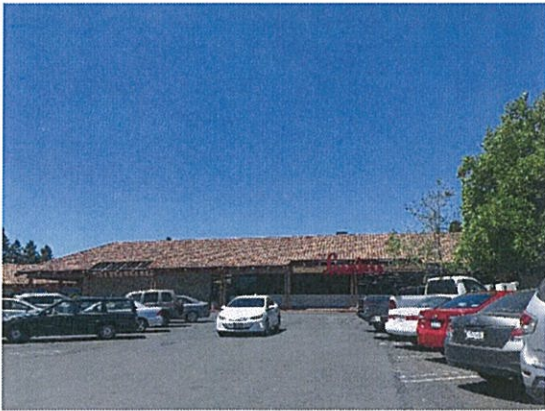


Exterior View of Subject
(Photo Taken on December 4, 2018)

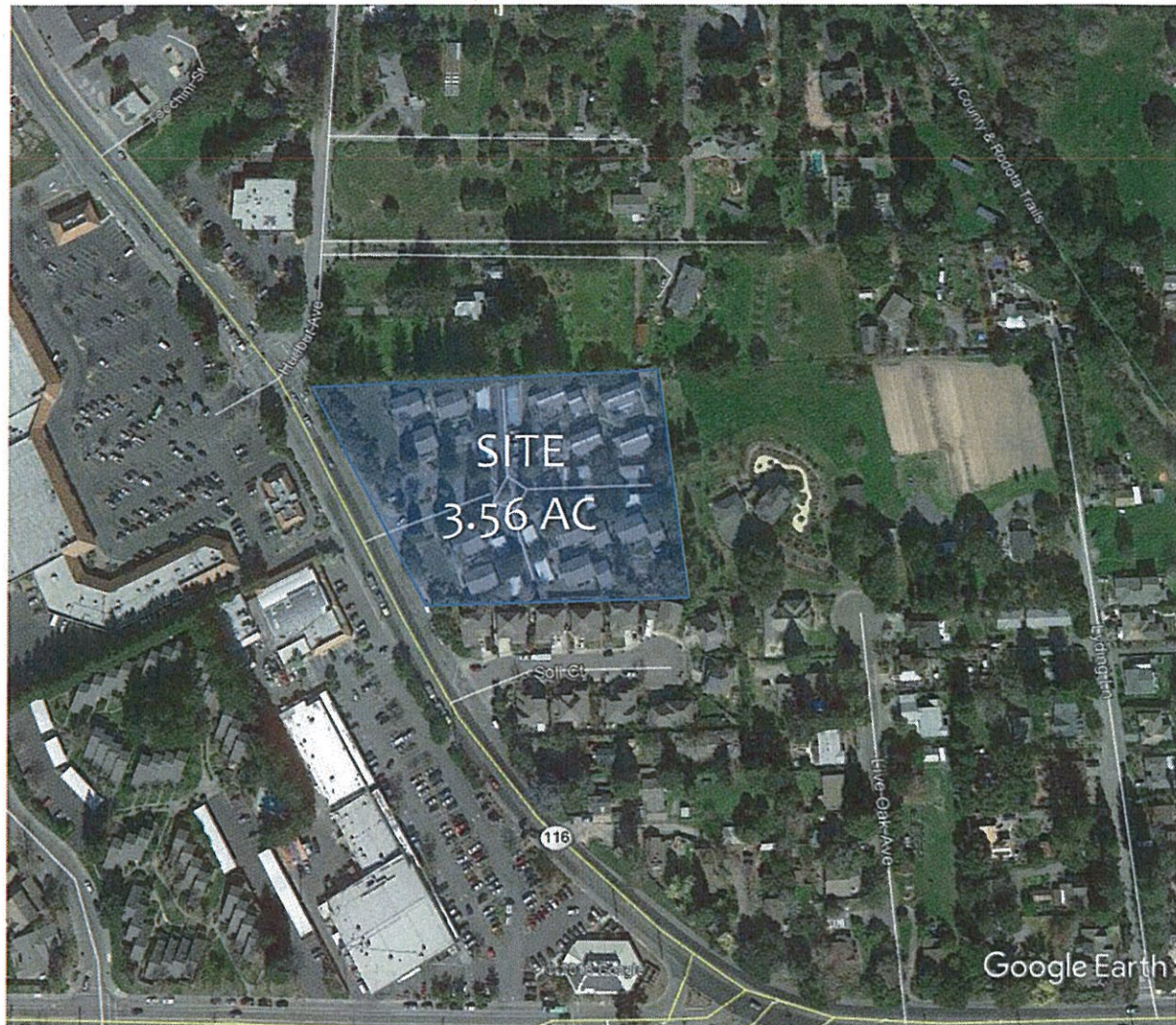


Exterior View of Subject
(Photo Taken on December 4, 2018)

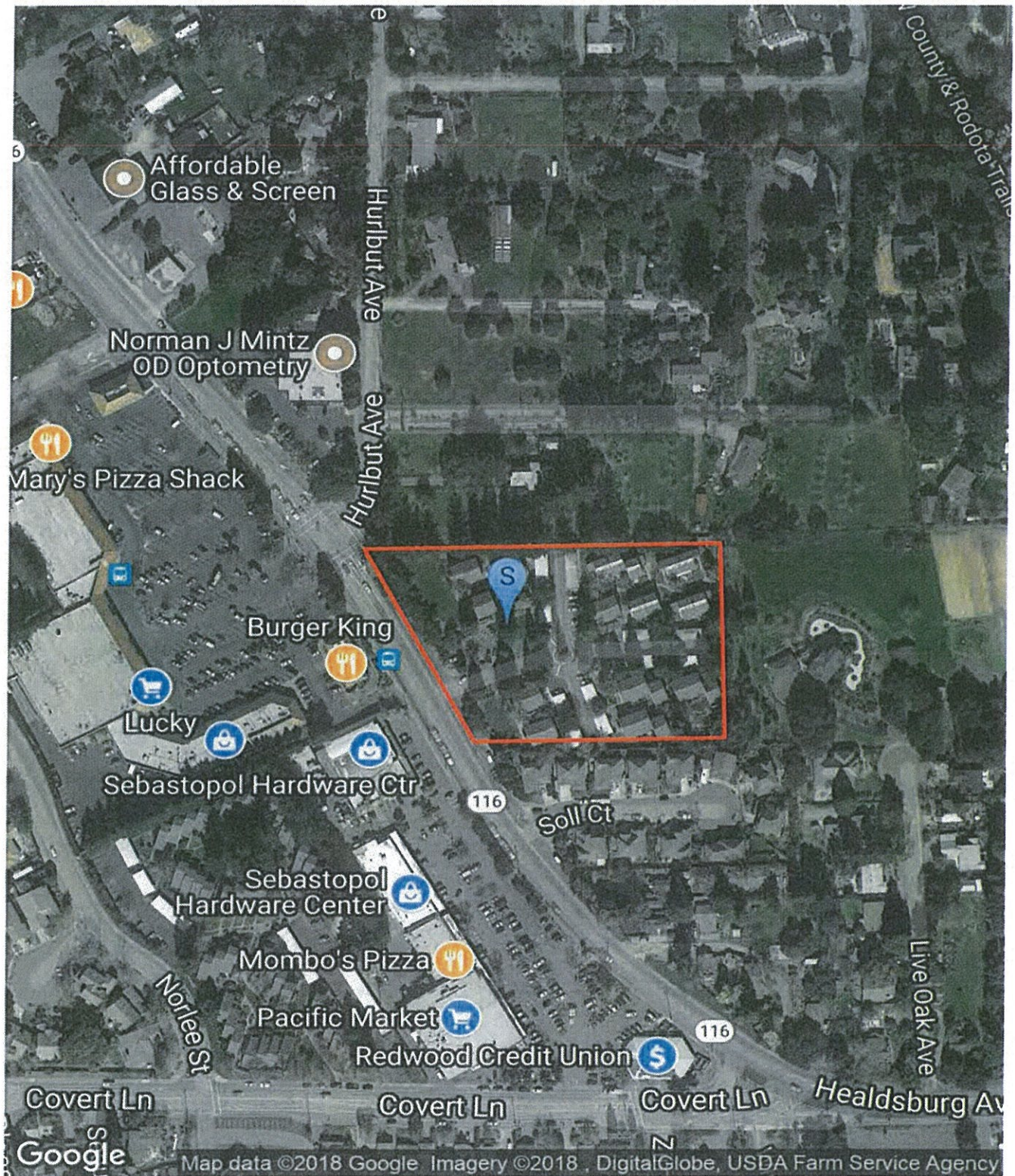
NEIGHBORHOOD PHOTOGRAPHS



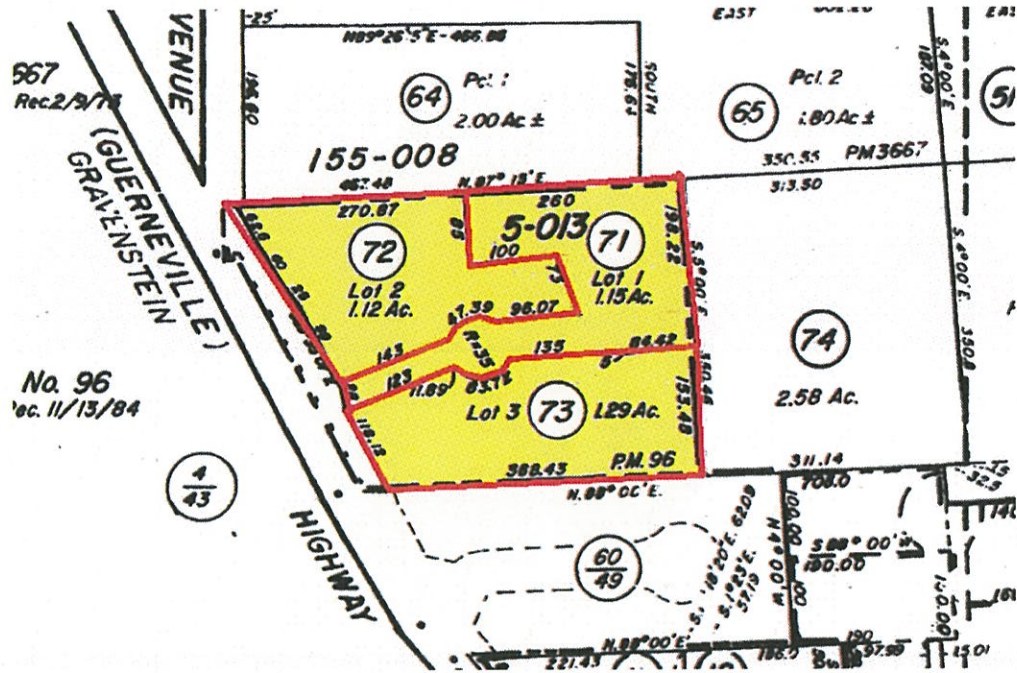
SITE AND ADJACENT LAND USES



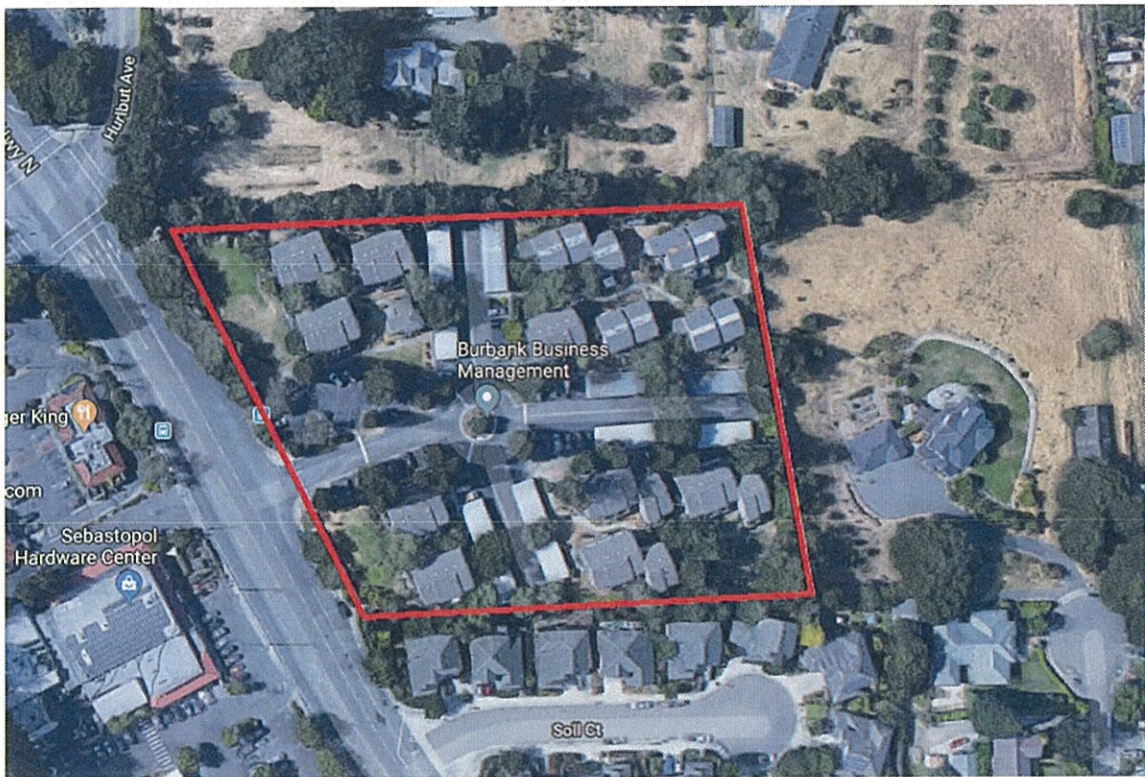
AERIAL PHOTOGRAPH



PLAT MAP



AERIAL MAP

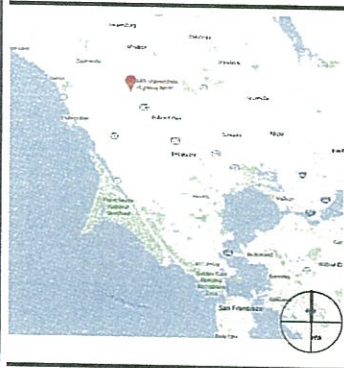


BURBANK HOUSING DEVELOPMENT GRAVENSTEIN APARTMENTS - COMMUNITY BUILDING



699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472
APN 06-025-071, -072, & -073

REGIONAL MAP



VICINITY MAP



PROJECT DIRECTORY

OWNER:

BURBANK HOUSING DEVELOPMENT CORPORATION
790 SONOMA AVENUE
SANTA ROSA, CA 95404

CONTACT: JAMES COLES

ARCHITECT:

WEIR / ANDREWSON ASSOCIATES, INC.
990 A STREET, SUITE 202
SAN RAFAEL, CA 94901

TEL: (415) 485-9797

FAX: (415) 485-9799

CONTACT: ERICK MOREAU

STRUCTURAL ENGINEER:

WEIR / ANDREWSON ASSOCIATES, INC.
990 A STREET, SUITE 202
SAN RAFAEL, CA 94901

TEL: (415) 485-9797

FAX: (415) 485-9799

CONTACT: SCOTT JOHNSON

CONTRACTOR:

PRECISION OGC, INC.
1501 E STREET
SACRAMENTO, CA 95814

PROJECT DESCRIPTION

- RENOVATION AND EXPANSION OF THE EXISTING COMMUNITY BUILDING TO BETTER SUIT THE PROPERTY NEEDS, SITE ACCESSIBILITY IMPROVEMENTS - INCLUDING PARKING LOTS CHANGES, AND INTERIOR IMPROVEMENTS - INCLUDING ELECTRICAL AND LIGHTING

PROJECT DATA

ZONING:	PC - PLANNED COMMUNITY
CONSTRUCTION CLASSIFICATION:	VB
OCCUPANCY CLASSIFICATION:	R-2
FLOOD ZONE:	X
SEISMIC ZONE:	4 - AREA WITH HIGH PROBABILITY OF SIGNIFICANT SEISMIC ACTIVITY
YEAR BUILT:	PHASE I - 1983 PHASE II - 1988
BUILDING TYPE:	TWO-STORY, WOOD-FRAMED STRUCTURES ON SLAB FOUNDATIONS
UNIT TYPES:	QTY S.F.
2 BD / 1 BA	8 792
2 BD / 1 BA	44 750
3 BD / 1 BA	8 800
60 TOTAL UNITS	
BUILDINGS	NO. OF BUILDINGS NO. OF FLOORS APPROX. TOTAL S.F.
APARTMENTS	14 2 47,016
COMMON USE	1 1 508
MAINTENANCE	1 1 150
	47,674 TOTAL S.F.
FIRE SPRINKLERS:	NO
EXISTING LOT AREA:	3.56 ACRES
PARKING:	102 STALLS TOTAL; 56 OF WHICH ARE COVERED CARPORTS
COMMUNITY BUILDING:	
PL SQUARE FOOTAGE	RS SQUARE FOOTAGE
OFFICE:	118 SF OFFICE:
LOUNGE:	481 SF LOUNGE:
LAUNDRY:	144 SF LAUNDRY:
TOTAL:	741 SF TOTAL:

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE, NEC
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN CODE
2016 ENERGY CODE T-24
MUNICIPAL CODE

DRAWING INDEX

ARCHITECTURAL	
A-001	COVER
A-002	ABBREVIATION, SYMBOLS LIST, AND CODE ANALYSIS
A-003	PROJECT GENERAL NOTES
A-004	TASK NOTES
A-005	TASK NOTES
A-100	SITE PLAN
A-101	COMMUNITY BUILDING FLOOR PLAN
A-101	COMMUNITY BUILDING ELEVATIONS
A-301	COMMUNITY BUILDING SECTIONS
A-410	COMMUNITY BUILDING INTERIOR ELEVATIONS
A-401	SCHEDULES
A-701	TYPICAL ACCESSIBLE SITE ITEMS
A-702	SIGNAGE
A-703	TYPICAL FURNITURE AND ACCESSORY DIMENSIONS
A-704	TYPICAL ACCESSIBLE KITCHEN DIMENSIONS
CIVIL	
C-1	GENERAL NOTES, LEGEND, AND ABBREVIATIONS
C-2	ACCESSIBILITY IMPROVEMENTS
C-3	CONSTRUCTION DETAILS
Grand total:	18



WEIR/ANDREWSON
ASSOCIATES, INC.
Architects & Engineers

990 A Street, Suite 202
San Rafael, CA 94901
T: 415.485.9797
F: 415.485.9799
www.waassoc.com



BURBANK HOUSING
DEVELOPMENT

GRAVENSTEIN
APARTMENTS -
COMMUNITY
BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

DATE	DESCRIPTION
07/04/19	DESIGN REVIEW

SCALE:	1" = 1'-0"
DRAWN BY:	MR VZ EP
CHECKED BY:	EM
JOB NUMBER:	18011.00
SHEET TITLE	COVER

A-001

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EXTERIOR ELEVATION	
INTERIOR ELEVATION	
SECTION CUT	
ENLARGED AREA	
DETAIL CUT	
ELEVATION TARGET OR WORK POINT	
WINDOW TYPE	
DOOR MARK	
WALL TYPE	
KEYNOTE	
TASK NOTE	
CENTERLINE	
1HR FIRE RATED WALL	
2HR FIRE RATED WALL	
REVISION CLOUD AND DELTA NO	
REFERENCE GRID AND COLUMN GRID	
NORTH INDICATOR	

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RECEIVED
FEB 07 2011
BY: _____

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ED
9



**WEIR|ANDREWSON
ASSOCIATES, INC.**
Architects & Engineers

990 A Street, Suite 202
San Rafael, CA 94901
T: 415.485.9797
F: 415.485.9799
www.wa25586.com

BURBANK HOUSING
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GRAVENSTEIN
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BUILDING
699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/06/19	DESIGN REVIEW

SCALE:	
DRAWN BY:	MR
CHECKED BY:	EM
FIG NUMBER:	18011.00
SHEET TITLE	
ABBREVIATION, SYMBOLS	

ST, AND CODE ANALYSIS

AWING.

A-002

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PROJECT GENERAL NOTES

COMPLY WITH THE FOLLOWING EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SPECIFIED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS.

1. INTENT: THESE DRAWINGS ARE PREPARED BY WJA ASSOCIATES (WJA) TO SET FORTH THE GENERAL LAYOUT AND INTENT OF THE WORK IN SUFFICIENT DETAIL TO MEET THE REQUIREMENTS OF THE CITY OF SEBASTOPOL BUILDING DEPARTMENT AND TO INDICATE THE GENERAL SCOPE OF WORK.
2. CODE: CALIFORNIA BUILDING CODE (CBC), 2018 EDITION.

3. REFERENCED STANDARDS: ALL CONTRACTORS SHALL BE FAMILIAR WITH AND REFER TO THE MOST RECENT INDUSTRY STANDARDS REFERENCED IN THESE DOCUMENTS THAT RELATE TO THEIR WORK.
4. OWNER/CONTRACTOR AGREEMENT: INFORMATION IN THESE GENERAL CONSTRUCTION NOTES DOES NOT INCLUDE CONDITIONS OF THE AGREEMENT BETWEEN THE CONTRACTOR AND THE OWNER. THESE DOCUMENTS ASSUME AN DOCUMENT AND ABBREVIATED OWNER/CONTRACTOR AGREEMENT FORM, OR ANOTHER EQUALLY COMPREHENSIVE AGREEMENT FORM, WILL BE USED AS A BASIS FOR THE CONDITIONS OF THE CONTRACTOR'S WORK.

5. NON-STRUCTURAL ITEMS: THESE DOCUMENTS PERTAIN TO STRUCTURAL INFORMATION ONLY. ANY INFORMATION IN THE STRUCTURAL DRAWINGS PERTAINING TO NON-STRUCTURAL ITEMS SHOULD BE CONSIDERED INCOMPLETE AND IS INCLUDED FOR GENERAL INFORMATION ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC INFORMATION ON ALL NON-STRUCTURAL ITEMS. THIS INCLUDES BUT IS NOT LIMITED TO SITE DRAINAGE, WATERPROOFING MATERIALS, AND FLASHINGS.

6. REVIEW EXISTING SITE CONDITIONS: CONTRACTORS SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS TO BECOME FULLY FAMILIAR WITH ALL ASPECTS OF THE CONSTRUCTION AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. TO BECOME, THE CONTRACTOR SHALL CONSIDER THAT FIELD MEASUREMENTS AND OBSERVATIONS WERE MADE WITHOUT FULL VISUAL ACCESS TO HIDDEN OR UNDERLYING CONDITIONS. THEREFORE, CERTAIN ASSUMPTIONS MAY HAVE ONCE THESE CONDITIONS HAVE BEEN REVEALED. IF THE WORK UNDER THIS CONTRACT IS ON AN EXISTING BUILDING, CONTRACTORS SHALL MAKE REASONABLE ATTEMPTS TO DISCOVER ANY UNEXPECTED CONDITIONS DISCOVERED IN THE COURSE OF THEIR WORK, SUCH AS TEMPERATURE DAMAGED MATERIALS, OUT OF PLUMB WALLS, PLUMB WALLS, OUT OF LEVEL FLOORS OR CEILINGS, ETC. WHICH COULD AFFECT THE INTENDED FUNCTION OF THEIR WORK.

7. EXISTING DRAWINGS: THE BACKGROUND DRAWINGS IN THIS SET (PLANS & ELEVATIONS) ARE FROM THE ORIGINAL PROJECT PERMIT DRAWINGS DATED APRIL 20, 1982 BY WJA ASSOCIATES ARCHITECTS, 301 TASCONE CIRCLE, NO. 1 SANTA ROSA, CALIFORNIA. WJA MAKES NO CLAIM AS TO THE ACCURACY OF THE ORIGINAL DRAWINGS, NOR THE DIMENSIONS THEY PROVIDE.

8. DIMENSIONS: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WHICH AFFECT THE WORK SHOWN AND SHALL NOTIFY WJA OF ANY CONFLICTS WHICH DIFFER FROM THE WORK SHOWN. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THE DIMENSIONS ARE RESOLVED. DIMENSIONS SCALED FROM THE DRAWINGS ARE UNRELIABLE. SCALED DIMENSIONS SHALL BE AVOIDED.

9. DIMENSIONS SHOWN ON FLOOR PLANS ARE FROM AND TO THE FACE OF FRAMING UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" INDICATE FACE OF FINISH MATERIALS.

10. VERIFICATION: SOME ITEMS IN THE DRAWINGS ARE SPECIFICALLY LABELED TO BE "VERIFIED" OR "VERIFY". THE CONTRACTOR IS REQUIRED TO NOTIFY WJA REGARDING THE PRESENCE, COORDINATION AND CONFLICTS OF THESE ITEMS AS SOON AS POSSIBLE IN THE COURSE OF CONSTRUCTION. ALTERATION OF CERTAIN DETAIL FROM THE DRAWINGS WILL BE BROUGHT TO THE ATTENTION OF WJA IN WRITING.

11. INCONSISTENCIES / DEFICIENCIES: INCONSISTENCIES IN THE DRAWINGS OR DESIGN DEFICIENCIES OF WHICH THE CONTRACTOR BECOMES AWARE, WHICH COULD AFFECT THE INTENDED FUNCTION OF THE WORK, SHALL BE BROUGHT TO THE ATTENTION OF WJA IN WRITING.

12. PLANS BY OTHERS: UNLESS ALREADY INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS, ADDITIONAL PLANS, DIAGRAMS, OR OTHER WORK REQUIRED FOR AN ELECTRICAL, MECHANICAL, OR PLUMBING PERMIT SHALL BE PROVIDED BY THE CONTRACTOR WHO SHALL PAY FOR AND SECURE THE APPROPRIATE PERMITS.

13. FEATURES NOT SHOWN AND ITEMS NOTED AS "TYP": FEATURES OF THE CONSTRUCTION NOT FULLY SHOWN ON THESE DRAWINGS SHALL BE THE SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. ITEMS NOTED AS "TYP" OR "TYPICAL" SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYS AND NOTED "TYP" ONLY ONCE WHEN THEY FIRST OCCUR. FOR SPECIAL CONDITIONS OR DISCREPANCIES NOTIFY WJA PRIOR TO BIDDING OR PROCEEDING WITH WORK.

14. BIDDING ASSUMPTIONS: EACH CONTRACTOR BIDDING AND CONSTRUCTING A PORTION OF THE WORK SHALL ASSUME, UNLESS OTHERWISE NOTED IN WRITING TO THE OWNER, THAT THE WORK INCLUDES ALL MATERIALS, LABOR, AND EQUIPMENT REQUIRED FOR A COMPLETE OPERATING SYSTEM CONFORMING TO ALL APPLICABLE LAWS, CODES AND REGULATIONS. IN THE EVENT THAT INCONSISTENCIES ARE DISCOVERED IN THE BID DOCUMENTS, THE BIDDERS SHALL ASSUME THE MOST STRINGENT OF EXPENSIVE MATERIALS FOR INCLUSION IN THEIR BID.

15. BUILDERS INSURANCE: ALL CONTRACTORS ON THE SITE ARE REQUIRED TO MAINTAIN IN FORCE ALL RISKS BUILDERS INSURANCE PRIOR TO START OF THE WORK IN AN AMOUNT EQUAL TO THE REPLACEMENT VALUE OF THEIR WORK BEING PERFORMED. THIS INCLUDES LABOR, SERVICES, AND MATERIALS BEING SUPPLIED BY ALL CONTRACTORS, ARCHITECTS, AND PROFESSIONAL CONSULTANTS.

16. PRE-CONSTRUCTION MEETING: THE GENERAL CONTRACTOR SHALL ARRANGE A MEETING OF ALL SUBCONTRACTORS ON THE JOB PRIOR TO THE START OF CONSTRUCTION, TO REVIEW THE CONDITIONS OF THE CONTRACT AND TO ASSURE THE ORDERLY PROGRESS AND COORDINATION OF THE SUBCONTRACTORS ON THE PROJECT. THE GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUBCONTRACTORS.

17. MAINTENANCE OF RECORDS: THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT BUILDING DEPARTMENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. IN ADDITION THE CONTRACTOR SHALL MAINTAIN A CURRENT RECORD OF ALL SUBMITTALS, PERMITS, CHANGE ORDERS, SHOP DRAWINGS, ADDENDUMS, ETC. ON SITE AT ALL TIMES.

18. AS BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF THE CONSTRUCTION CHANGES, INDICATING CHANGES MADE DURING THE COURSE OF CONSTRUCTION TO INFORM THE OWNERS OF THE AS BUILT CONDITIONS. RECORD MARKUPS OF THE CONSTRUCTION DOCUMENTS MAY BE SUFFICIENT IF DONE IN A NEAT AND ORDERLY MANNER.

19. PREVIOUS WORK BY OTHERS: CONTRACTORS SHALL REVIEW THE PLANS, DETAILS AND COMPLETED WORK OF OTHERS FOR SATISFACTORY AND APPROPRIATE COMPLETENESS AS ADEQUATE SUBSTRATE FOR THE INSTALLATION OF THEIR RESPECTIVE WORK. REPORT DEFICIENCIES IMMEDIATELY IN WRITING TO THE OWNER OR THEIR REPRESENTATIVE. COMMENCEMENT OF WORK WITHOUT PRIOR WRITTEN NOTICE WILL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF SATISFACTORY PREVIOUS WORK BY OTHERS.

20. PROTECTION OF WORK: CONTRACTORS SHALL USE ALL MEANS NECESSARY TO PROTECT THE MATERIALS OF THE WORK BEFORE, DURING, AND AFTER TRADES. IN THE EVENT OF DAMAGE, IMMEDIATE REPAIR OR REPLACEMENT SHALL BE MADE TO THE APPROVAL OF WJA AT NO ADDITIONAL COST TO THE OWNER.

21. CUTTING AND PATCHING: ALL CUTTING, FITTING, AND PATCHING OF MATERIALS SHALL BE DONE IN A WORKMANLIKE MANNER, WITHOUT DAMAGING OR CONFLICTING WITH THE WORK OF OTHERS.

22. DEVIATION FROM PLANS: NO DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS SHALL BE PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER AND WJA.

23. ALTERATION OF STRUCTURAL ELEMENTS: ANY OPENINGS, HOLES, OR CUTS NOT SHOWN ON THE STRUCTURAL DRAWINGS AND EXTENDING INTO OR THROUGH STRUCTURAL ELEMENTS REQUIRE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER AND MAY REQUIRE ADDITIONAL STRUCTURAL DETAILING.

24. SUBSTITUTIONS: NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION BY THE OWNER AND WJA. CONTRACTOR SHALL WARRANT THAT PROPOSED SUBSTITUTION IS COMPATIBLE WITH ALL OTHER ASSEMBLY COMPONENTS WITH WHICH THE PROPOSED SUBSTITUTION INTERFACES. CONTRACTOR SHALL REIMBURSE THE OWNER FOR ANY ADDITIONAL COST RELATED TO INCORPORATING THE SUBSTITUTION INTO THE WORK, INCLUDING BUT NOT LIMITED TO, OWNER OR REPRESENTATIVE'S ADDITIONAL TIME FOR REVIEW, ADDITIONAL TIME TO MAKE CHANGES TO OTHER RELATED WORK, OR CONSTRUCTION TIME DELAY.

25. CHANGE ORDERS: NO ADDITION, DELETION, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS SHALL BE MADE WITHOUT A PRIOR WRITTEN CHANGE ORDER BY THE OWNER AND WJA. NO VERBAL CHANGE ORDERS ARE PERMITTED.

26. SUBMITTALS: ALL SUBMITTALS, INCLUDING SHOP DRAWINGS, REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO WJA FOR REVIEW AND COMMENT. SUBMITTALS SHALL BE REVIEWED BY WJA TO ALLOW FOR REVIEW AND COMMENT IN A TIMELY MANNER. ALLOW TEN DAYS FOR EACH REVIEW. TO WRITTEN APPROVAL AT THE CONTRACTOR'S RISK.

27. ITEMS SUBMITTED FOR REVIEW SHALL HAVE THE CONTRACTOR'S APPROVAL AND DATE INDICATED. SUBMIT AN ELECTRONIC COPY FOR REVIEW. ELECTRONIC COPY WILL BE RETURNED FOR THE CONTRACTOR'S USE AND DISTRIBUTION TO NECESSARY PARTIES. SUBMITTALS FOR THIS PROJECT INCLUDE: SEE MANUAL.

28. JOB SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL THE WORKERS ON THE JOB SITE AND SHALL ADHERE TO ALL FEDERAL, STATE, LOCAL, AND O.C.S.A. SAFETY REGULATIONS. WJA IS NOT RESPONSIBLE FOR CONSTRUCTION PROCEDURES OR FOR THE MEANS, METHODS OR REDUCERS OF CONSTRUCTION. THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

29. THE INSPECTOR SHALL NOTIFY THE ENGINEER OF ANY CONSTRUCTION THAT IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THIS NOTIFICATION SHALL INCLUDE A TELEPHONE CALL TO THE ENGINEER, 415-455-9777, DESCRIBING THE NATURE OF THE SITUATION LEAVING A MESSAGE IF NECESSARY. WITH CONFIRMATION IN WRITING, THE CONTRACTOR SHALL BE IMMEDIATELY ADVISED OF ANY CONSTRUCTION. IN THE INSPECTOR'S OPINION, IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

30. SPECIAL INSPECTION AND TESTING: IN ADDITION TO REQUIRED INSPECTIONS BY THE BUILDING OFFICIAL, PROVIDE SPECIAL INSPECTION AND TESTING AS INDICATED IN ACCORDANCE WITH CBC SECTION 1704 FOR THE FOLLOWING WORK:
 - A. HIGH STRENGTH BOLTING
 - B. INSTALLATION OF EPOXY DOWELS OR ADHESIVE ANCHORS INTO EXISTING CONCRETE

31. STRUCTURAL OBSERVATION: PROVIDE FOR STRUCTURAL OBSERVATION IN ACCORDANCE WITH CBC SECTION 1709 AFTER THE INSTALLATION OF THE FOLLOWING WORK:
 - A. CONCRETE REINFORCING

32. STRUCTURAL OBSERVATIONS DO NOT FULFILL THE REQUIREMENTS FOR SPECIAL INSPECTION. NOTIFY THE ENGINEER AT LEAST 72 HOURS PRIOR TO THE TIME REQUESTED FOR THE STRUCTURAL OBSERVATION.

33. BEFORE THE COMPLETION OF THE INSTALLATION OF A WORK ITEM LISTED ABOVE, A SECOND STRUCTURAL OBSERVATION WILL BE REQUIRED. REPEAT STRUCTURAL OBSERVATIONS, REQUIRED DUE TO LACK OF COMPLETION, WILL BE BY THE CONTRACTOR THROUGH REIMBURSEMENT TO THE OWNER.

34. EXISTING LANDSCAPING: RESTORE ALL LANDSCAPING DAMAGED BY REPAIR AND IMPROVEMENT OF GRADING AND DRAINAGE, AND CONSTRUCTION PROCESS.

35. SITE ACCESS: CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OCCUPANT ACCESS TO BUILDING, OR FOR ARRANGING WITH THE OWNER PROVIDING FOR ALTERNATE ACCESS DURING CONSTRUCTION. CONTRACTOR SHALL BE LIMITED TO WORK AT THE PROJECT SITE DURING THE HOURS AS DIRECTED BY THE OWNER AND AS PERMITTED BY THE CITY, MONDAY THROUGH FRIDAY, UNLESS WRITTEN PERMISSION FOR OTHER TIMES OR DAYS IS RECEIVED FROM THE OWNER AND APPROVED BY THE PERMITTING AUTHORITY FOR AFFECTED AREA.

36. ON-SITE STORAGE AND PARKING: CONTRACTOR SHALL ARRANGE WITH OWNER THE LOCATION OF ALL ON-SITE STORAGE OF MATERIALS, EQUIPMENT, AND PARKING OF CONSTRUCTION VEHICLES FOR ALL TRADES. CONTRACTOR SHALL COMPLY WITH THE STORAGE REQUIREMENTS OF CBC CHAPTER 31 FOR ANY STORAGE ON PUBLIC STREETS OR ON PEDESTRIAN ACCESS WAYS TO PUBLIC STREETS.

37. CLEANUP AND DEMOLITION: CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANUP. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL LEAVE THE PREMISE AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER. DEMOLITION SHALL COMPLY WITH ANSI A105-90 SAFETY REQUIREMENTS FOR DEMOLITION OPERATIONS.

38. WARRANTIES: PROVIDE MINIMUM STANDARD ONE YEAR WARRANTY FROM THE MATERIALS, EQUIPMENT AND SYSTEMS SPECIFIED, UNLESS LONGER PERIODS ARE SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS. ASSEMBLE ALL PRODUCT WARRANTIES, INSTRUCTION BOOKS, AND REQUIRED MAINTENANCE RECORDS OF EQUIPMENT INSTALLED IN THE PROJECT INTO A NEATLY ORGANIZED BINDER FOR THE OWNER'S USE.

39. WARRANTY FOLLOW-UP: TEN MONTHS FOLLOWING DATE OF SUBSTANTIAL COMPLETION CONTRACTOR SHALL HOLD A MEETING WITH THE OWNER AND THE ARCHITECT FOR THE PURPOSE OF REVIEWING THE WARRANTIES AGAINST ANY APPLICABLE WARRANTY CLAIMS.

40. TEMPORARY FACILITIES: PROVIDE TEMPORARY FACILITIES AS DESCRIBED BELOW
 - A. SERVICE UTILITIES FOR THE EXISTING FACILITY SHALL BE MAINTAINED IN OPERATION DURING THE PROGRESS OF ALL WORK UNDER THIS CONTRACT.
 - B. WHERE NECESSARY TO MAKE CONNECTIONS WHICH WILL TEMPORARILY INTERRUPT EXISTING SERVICES, GIVE 15 DAYS NOTICE OF SUCH INTENT.
 - C. PROVIDE SANITARY FACILITIES FOR ALL CONTRACTORS AND EMPLOYEES IN COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
 - D. PROVIDE BARRIERS TO PREVENT PUBLIC ENTRY TO CONSTRUCTION AREA AND TO PROTECT THE EXISTING FACILITIES. IF EXTERIOR EXIT DOORS MUST BE BLOCKED, THEY SHALL BE TEMPORARY, AND ONLY AT A TIME, AND CONTRACTOR SHALL DEVELOP A TEMPORARY EXIT PLAN, ACCEPTABLE TO THE FIRE DEPARTMENT AND SUBMITTED TO ARCHITECT FOR REVIEW.
 - E. CONTRACTOR SHALL DESIGN AND PROVIDE TEMPORARY SCAFFOLDING AS REQUIRED.
 - F. FIELD OFFICES: PROVIDE TEMPORARY STRUCTURE AS FIELD OFFICE FOR CONTRACTOR WITH SPACE FOR MEETINGS.

41. ARCHITECT / ENGINEER SITE VISITS: CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED SITE VISIT REVIEWS BY THE ARCHITECT OR ENGINEER AT THE VARIOUS STAGES OF CONSTRUCTION. THE COST OF ANY SUBSEQUENT REVIEWS DUE TO INCOMPLETE CONSTRUCTION AT THE INITIAL REVIEW SHALL BE PAID FOR BY THE CONTRACTOR THROUGH REIMBURSEMENT TO THE OWNER.

42. BUILDING OFFICIAL INSPECTIONS: CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF ALL REQUIRED PROJECT INSPECTIONS BY THE BUILDING OFFICIAL AT THE VARIOUS STAGES OF CONSTRUCTION. (C.B.C. SECTION 109, APPENDIX CHAPTER 1) THE COST OF ANY SUBSEQUENT INSPECTIONS OF THE SAME ISSUE SHALL BE PAID BY THE CONTRACTOR.

43. DEFERRED SUBMITTALS: THE FOLLOWING COMPONENTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL SEPARATELY FROM THESE PLANS. PROVIDE DRAWINGS AND CALCULATIONS SEALED BY A LICENSED PROFESSIONAL REGISTERED IN THE STATE OF CALIFORNIA. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO WJA FOR REVIEW PRIOR TO FABRICATION. DEFERRED SUBMITTALS SHALL BE PROVIDED FOR TO WRITTEN APPROVAL AT THE CONTRACTOR'S RISK.

44. SPECIAL INSPECTION AND TESTING: IN ADDITION TO REQUIRED INSPECTIONS BY THE BUILDING OFFICIAL, PROVIDE SPECIAL INSPECTION AND TESTING AS INDICATED IN ACCORDANCE WITH CBC SECTION 1704 FOR THE FOLLOWING WORK:
 - A. HIGH STRENGTH BOLTING
 - B. INSTALLATION OF EPOXY DOWELS OR ADHESIVE ANCHORS INTO EXISTING CONCRETE

45. THE INSPECTOR SHALL NOTIFY THE ENGINEER OF ANY CONSTRUCTION THAT IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THIS NOTIFICATION SHALL INCLUDE A TELEPHONE CALL TO THE ENGINEER, 415-455-9777, DESCRIBING THE NATURE OF THE SITUATION LEAVING A MESSAGE IF NECESSARY. WITH CONFIRMATION IN WRITING, THE CONTRACTOR SHALL BE IMMEDIATELY ADVISED OF ANY CONSTRUCTION. IN THE INSPECTOR'S OPINION, IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

46. SPECIAL INSPECTION AND TESTING: IN ADDITION TO REQUIRED INSPECTIONS BY THE BUILDING OFFICIAL, PROVIDE SPECIAL INSPECTION AND TESTING AS INDICATED IN ACCORDANCE WITH CBC SECTION 1704 FOR THE FOLLOWING WORK:
 - A. HIGH STRENGTH BOLTING
 - B. INSTALLATION OF EPOXY DOWELS OR ADHESIVE ANCHORS INTO EXISTING CONCRETE

47. STRUCTURAL OBSERVATION: PROVIDE FOR STRUCTURAL OBSERVATION IN ACCORDANCE WITH CBC SECTION 1709 AFTER THE INSTALLATION OF THE FOLLOWING WORK:
 - A. CONCRETE REINFORCING

48. STRUCTURAL OBSERVATIONS DO NOT FULFILL THE REQUIREMENTS FOR SPECIAL INSPECTION. NOTIFY THE ENGINEER AT LEAST 72 HOURS PRIOR TO THE TIME REQUESTED FOR THE STRUCTURAL OBSERVATION.

49. BEFORE THE COMPLETION OF THE INSTALLATION OF A WORK ITEM LISTED ABOVE, A SECOND STRUCTURAL OBSERVATION WILL BE REQUIRED. REPEAT STRUCTURAL OBSERVATIONS, REQUIRED DUE TO LACK OF COMPLETION, WILL BE BY THE CONTRACTOR THROUGH REIMBURSEMENT TO THE OWNER.

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55. WARRANTY FOLLOW-UP: TEN MONTHS FOLLOWING DATE OF SUBSTANTIAL COMPLETION CONTRACTOR SHALL HOLD A MEETING WITH THE OWNER AND THE ARCHITECT FOR THE PURPOSE OF REVIEWING THE WARRANTIES AGAINST ANY APPLICABLE WARRANTY CLAIMS.



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GRAVENSTEIN
APARTMENTS -
COMMUNITY
BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

DATE	DESCRIPTION
07/04/19	DESIGN REVIEW

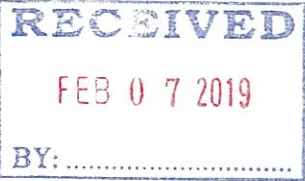
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JOB NUMBER:	18011.00

SHEET TITLE
PROJECT GENERAL NOTES

DRAWING

A-003

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FEB 07 2019

GRAVENSTEIN - TASK MATRIX

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W.A.
ASSOCIATES

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699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/06/19	DESIGN REVIEW

SCALE:

DRAWN BY: VZ EP

CHECKED BY: EM

JOB NUMBER: 16011.00

SHEET TITLE

TASK NOTES

Abstract

A-004

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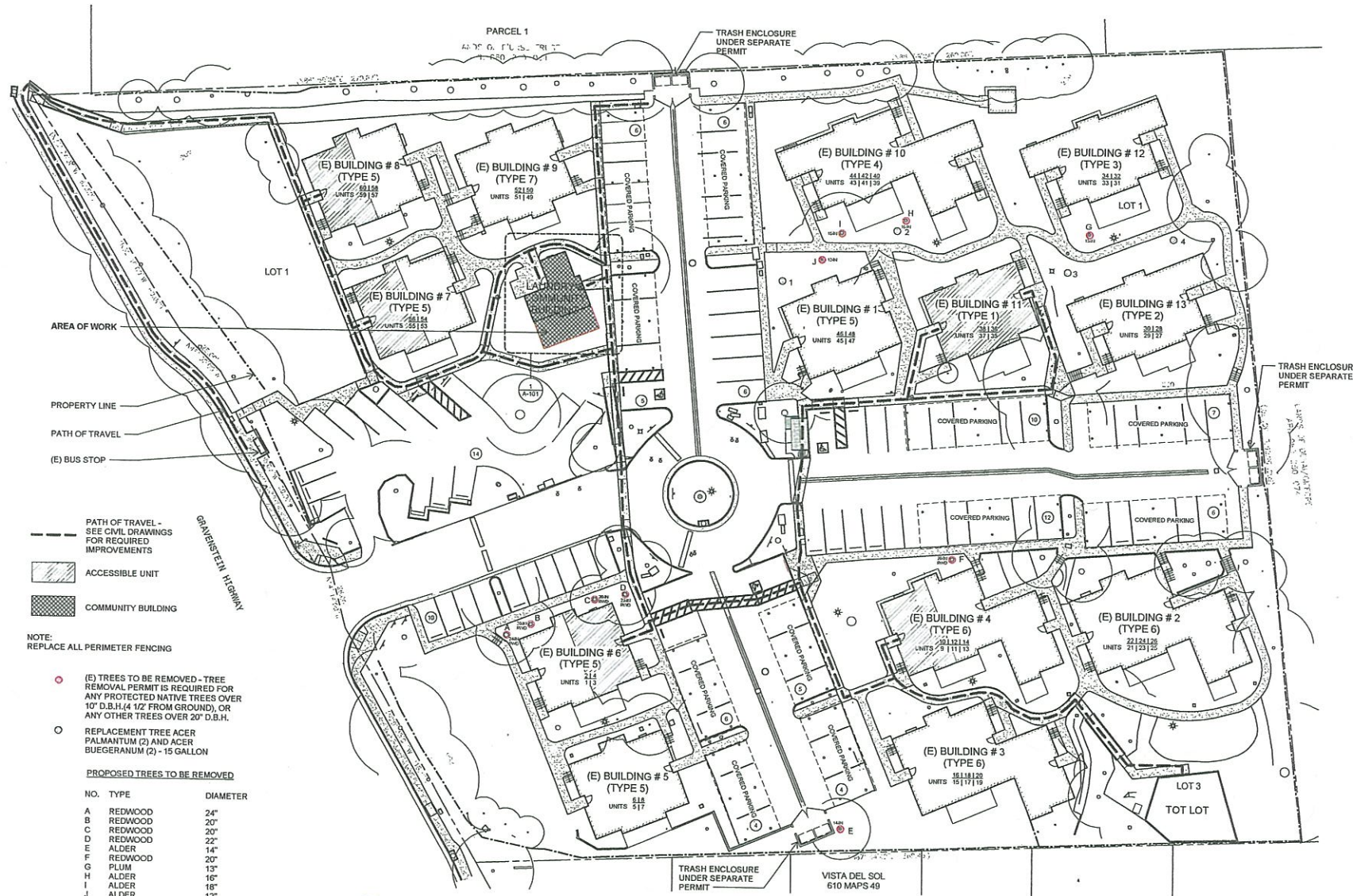
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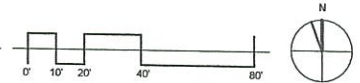
1 SITE PLAN
3/8" = 1'-0"

Proposed

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BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS - COMMUNITY BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

DATE DESCRIPTION
09/04/19 DESIGN REVIEW
09/11/2018 CLIENT REVIEW

SCALE: 3/8" = 1'-0"

DRAWN BY: VZ

CHECKED BY: EP

JOB NUMBER: 18011.00

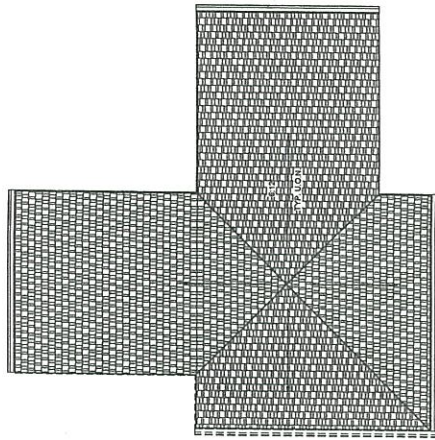
SHEET TITLE

SITE PLAN

DRAWING

A-100

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4 COMMUNITY BUILDING (E) / DEMO ROOF PLAN
1/4" = 1'-0"

ATTIC VENTING ANALYSIS

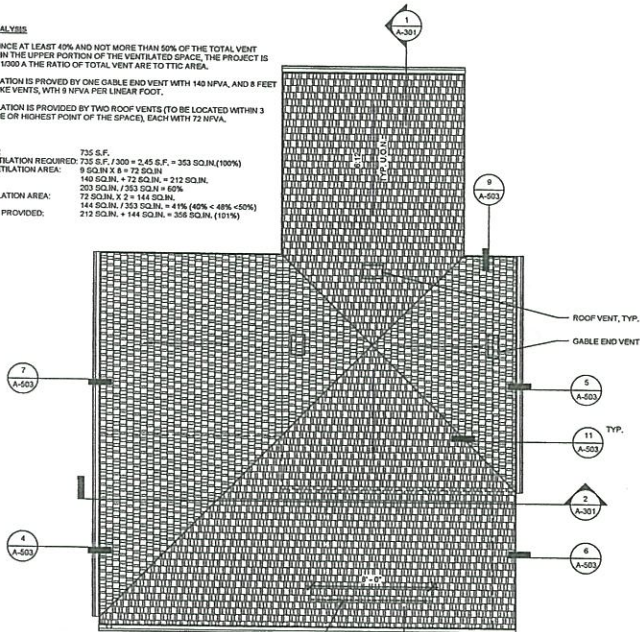
PER CBC 1203.2, SINCE AT LEAST 40% AND NOT MORE THAN 60% OF THE TOTAL VENT AREA IS LOCATED IN THE UPPER PORTION OF THE VENTILATED SPACE, THE PROJECT IS ALLOWED TO USE 100% OF THE TOTAL VENT AREA TO THE ATTIC AREA.

LOW ATTIC VENTILATION IS PROVIDED BY ONE GABLE END VENT WITH 140 NPVA, AND 8 FEET OF ROOFTOP INTAKE VENTS, WITH 8 NPVA PER LINEAR FOOT.

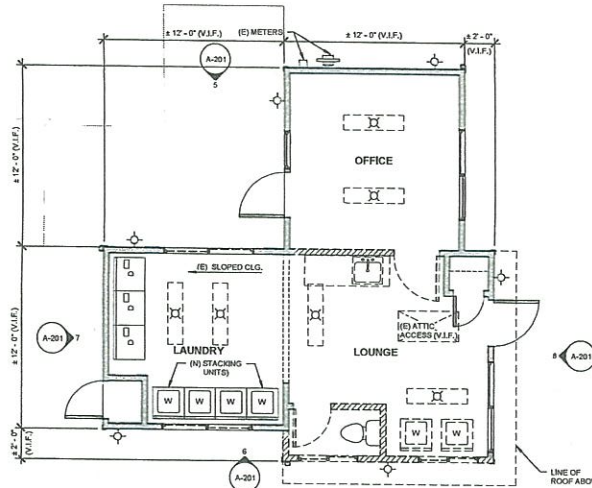
HIGH ATTIC VENTILATION IS PROVIDED BY TWO ROOF VENTS (TO BE LOCATED WITHIN 3 FEET BELOW RIDGE OR HIGHEST POINT OF THE SPACE), EACH WITH 72 NPVA.

CALCULATIONS

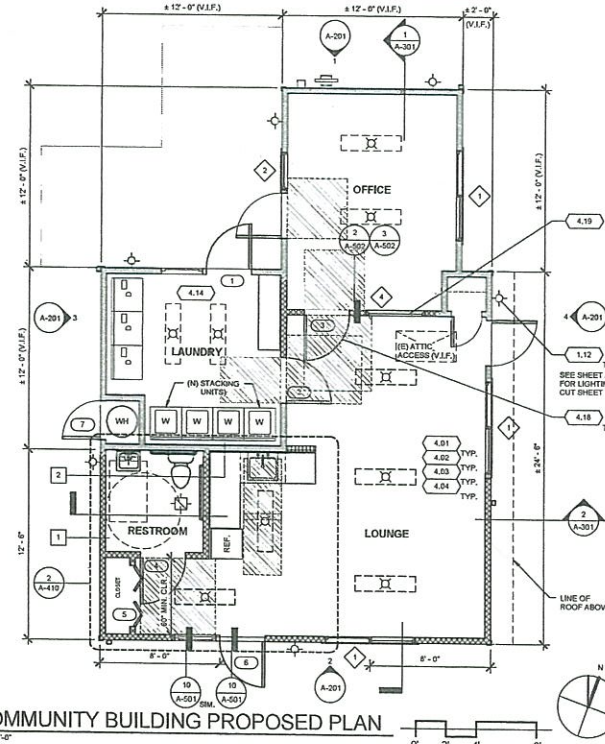
ROOF ATTIC AREA: 725 S.F.
NET AREA OF VENTILATION REQUIRED: 725 S.F. / 300 = 2.42 S.F. = 353 SQ.IN. (100%)
LOW ROOF GABLE VENTILATION AREA: 8 SQ.IN. X 8 = 72 SQ.IN.
140 SQ.IN. + 72 SQ.IN. = 212 SQ.IN.
203 SQ.IN. / 353 SQ.IN. = 49% (40% - 48% - 50%)
HIGH ROOF VENTILATION AREA: 72 SQ.IN. X 2 = 144 SQ.IN.
144 SQ.IN. / 353 SQ.IN. = 41% (40% - 48% - 50%)
TOTAL VENT AREA PROVIDED: 212 SQ.IN. + 144 SQ.IN. = 356 SQ.IN. (101%)



2 COMMUNITY BUILDING PROPOSED ROOF PLAN
1/4" = 1'-0"



3 COMMUNITY BUILDING (E) / DEMO PLAN
1/4" = 1'-0"



1 COMMUNITY BUILDING PROPOSED PLAN
1/4" = 1'-0"

GENERAL SHEET NOTES

1. REFER TO SHEETS A-004, A-005 & A-006 FOR TASK NOTES.
2. REFER TO SHEET A-007 FOR UNIT MATRIX.
3. REFER TO SHEET A-001 FOR SCHEDULES.
4. REFER TO SHEET A-001 FOR TYPICAL SITE ACCESSIBLE ITEMS.
5. REFER TO SHEET A-002 FOR TYPICAL STORAGE REQUIREMENTS.
6. REFER TO SHEET A-002 FOR TYPICAL FURNITURE & ACCESSORY DIMENSIONS.
7. REFER TO SHEET A-004 FOR TYPICAL KITCHEN DIMENSIONS.
8. REFER TO SHEETS T24.1 & T24.2 FOR ENERGY REQUIREMENTS.
9. REFER TO CIVIL SHEETS FOR SITE WORK.
10. REFER TO MECHANICAL SHEETS FOR MECHANICAL WORK.
11. REFER TO PLUMBING SHEETS FOR PLUMBING WORK.

SHEET TASK NOTES

1.12	SITE LIGHTING (BUILDINGS)
4.01	INTERIOR PAINTING
4.02	DRY WALL REPAIRS
4.03	INTERIOR LIGHTING
4.04	FLOORING
4.14	LAUNDRY ROOM
4.18	INTERIOR DOORS
4.19	INTERIOR WINDOW

WALL LEGEND

(E) TO REMAIN	(E) TO REMAIN
DEMO	DEMO
(N) WALL	(N) WALL
(N) LOW HEIGHT WALL	(N) LOW HEIGHT WALL
1 WALL TYPE 1, SEE DETAIL 1 / A-502	1 WALL TYPE 1, SEE DETAIL 1 / A-502
2 WALL TYPE 2, SEE DETAIL 4 / A-502	2 WALL TYPE 2, SEE DETAIL 4 / A-502

SYMBOLS LEGEND

WALL MOUNTED LIGHT	WALL MOUNTED LIGHT
CEILING / FLUSH MOUNTED LIGHT	CEILING / FLUSH MOUNTED LIGHT
RECESSED CAN CEILING LIGHT	RECESSED CAN CEILING LIGHT
2X4 RECESSED CEILING LIGHT	2X4 RECESSED CEILING LIGHT
1X4 SURFACE MOUNTED CEILING LIGHT	1X4 SURFACE MOUNTED CEILING LIGHT
LIGHT FIXTURE TYPE TAG, SEE SCHEDULE A-001	LIGHT FIXTURE TYPE TAG, SEE SCHEDULE A-001
PNEUMATIC SWITCH FOR DISPOSAL	PNEUMATIC SWITCH FOR DISPOSAL
LIGHT SWITCH	LIGHT SWITCH
3 WAY LIGHT SWITCH	3 WAY LIGHT SWITCH
WALL MOUNTED EXHAUST FAN	WALL MOUNTED EXHAUST FAN
EXHAUST FAN / LIGHT	EXHAUST FAN / LIGHT
EXHAUST FAN	EXHAUST FAN
THERMOSTAT	THERMOSTAT
SMOKE DETECTOR	SMOKE DETECTOR
CARBON MONOXIDE DET. ALARM	CARBON MONOXIDE DET. ALARM
FIRE EXTINGUISHER CABINET	FIRE EXTINGUISHER CABINET
DUPLEX OUTLET	DUPLEX OUTLET
GFI DUPLEX OUTLET	GFI DUPLEX OUTLET
GARBAGE DISPOSAL	GARBAGE DISPOSAL
FLOORING TRANSITION	FLOORING TRANSITION
VINYL PLANK	VINYL PLANK
SHEET VINYL	SHEET VINYL
CARPET TILE	CARPET TILE
CARPET	CARPET
RELOCATE EXISTING	RELOCATE EXISTING



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APN 06-025-071, -072, & -073

MARK DATE DESCRIPTION
03/04/19 DESIGN REVIEW

SCALE: As indicated

DRAWN BY: VZ

CHECKED BY: EP

JOB NUMBER: 18011.00

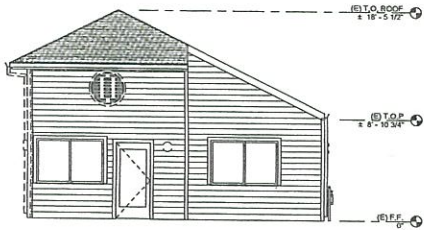
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COMMUNITY BUILDING
FLOOR PLAN

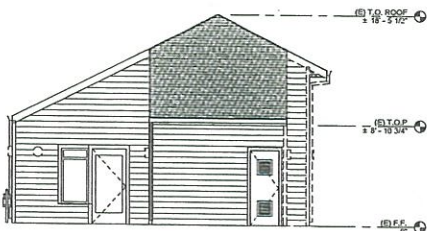
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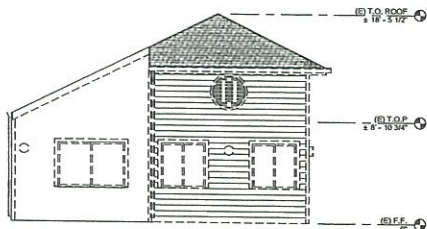
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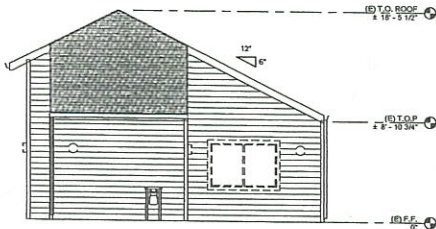
8 COMMUNITY BUILDING - (E) DEMO EAST ELEVATION
3/16" = 1'-0"



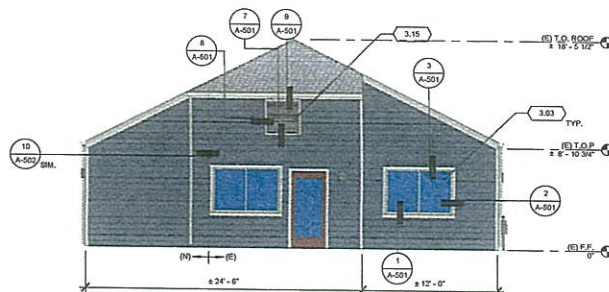
7 COMMUNITY BUILDING - (E) DEMO WEST ELEVATION
3/16" = 1'-0"



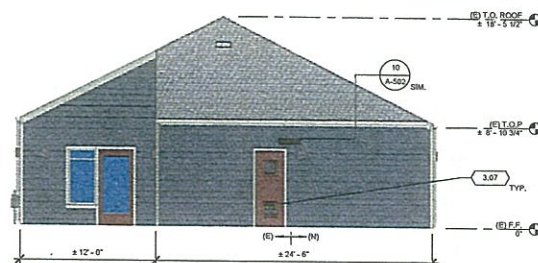
6 COMMUNITY BUILDING - (E) DEMO SOUTH ELEVATION
3/16" = 1'-0"



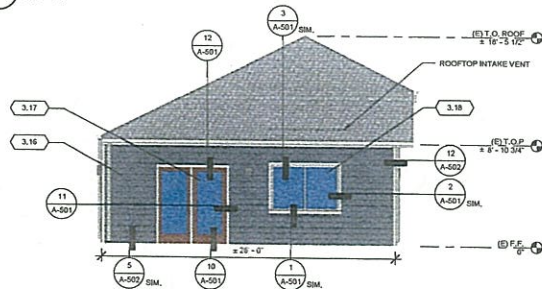
5 COMMUNITY BUILDING - (E) DEMO NORTH ELEVATION
3/16" = 1'-0"



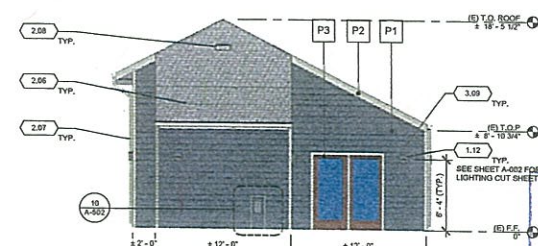
4 COMMUNITY BUILDING - PROPOSED EAST ELEVATION
3/16" = 1'-0"



3 COMMUNITY BUILDING - PROPOSED WEST ELEVATION
3/16" = 1'-0"



2 COMMUNITY BUILDING - PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



1 COMMUNITY BUILDING - PROPOSED NORTH ELEVATION
3/16" = 1'-0"

GENERAL SHEET NOTES

1. REFER TO SHEETS A-004, A-005 & A-006 FOR TASK NOTES.
2. REFER TO SHEET A-007 FOR UNIT MATRIX.
3. REFER TO SHEET A-001 FOR SCHEDULES.
4. REFER TO SHEET A-701 FOR TYPICAL SITE ACCESSIBLE ITEMS.
5. REFER TO SHEET A-702 FOR TYPICAL SIGNAGE REQUIREMENTS.
6. REFER TO SHEET A-703 FOR TYPICAL FIXTURE & ACCESSORY DIMENSIONS.
7. REFER TO SHEET A-704 FOR TYPICAL KITCHEN DIMENSIONS.
8. REFER TO SHEETS T24.1 & T24.2 FOR ENERGY REQUIREMENTS.
9. REFER TO CIVIL SHEETS FOR SITE WORK.
10. REFER TO MECHANICAL SHEETS FOR MECHANICAL WORK.
11. REFER TO PLUMBING SHEETS FOR PLUMBING WORK.

SHEET TASK NOTES

ITEM	DESCRIPTION
1.12	SITE LIGHTING (BUILDING)
2.08	ROOF (COMMUNITY BUILDING)
2.07	GUTTERS AND DOWNSPOUTS (COMMUNITY BUILDING)
2.08	ROOF VENTS (COMMUNITY BUILDING)
3.03	WINDOWS
3.07	UTILITY DOORS (WH CLOSETS)
3.09	PAINTING (EXTERIOR)
3.15	ATTIC VENT
3.16	FIBER CEMENT BOARD SIDING (COMMUNITY BUILDING)
3.17	DOORS (COMMUNITY BUILDING)
3.18	WINDOWS (COMMUNITY BUILDING)

COLOR LEGEND

P1	KELLY-MOORE - HL54277 STEBLITZ FOG
P2	KELLY-MOORE - HL54264 MELMAC SILVER
P3	KELLY-MOORE - KMS429 GIRL MASTER



WEIR|ANDREWSON
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ARCHITECTS & ENGINEERS

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BURBANK HOUSING
DEVELOPMENT

GRAVENSTEIN
APARTMENTS -
COMMUNITY
BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/04/19	DESIGN REVIEW

SCALE: As indicated

DRAWN BY: Author

CHECKED BY: EP

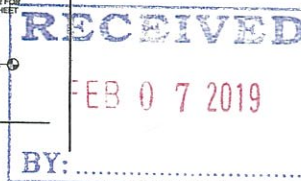
JOB NUMBER: 18011.00

SHEET TITLE
COMMUNITY BUILDING
ELEVATIONS

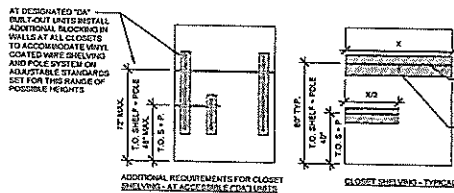
DRAWING

A-201

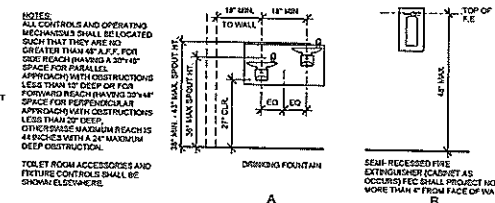
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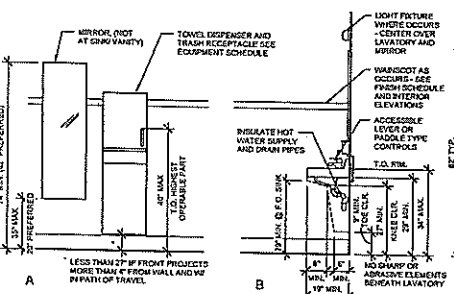
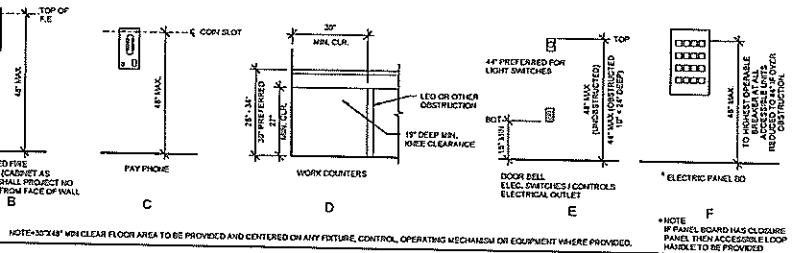
BY:



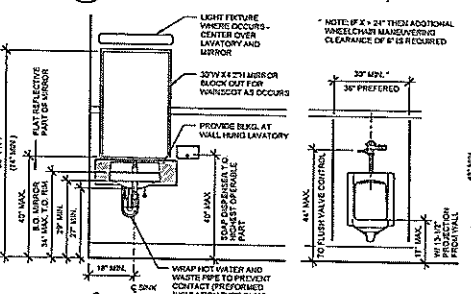
6 CLOSET POLE AND SHELF MOUNTING
12\"/>



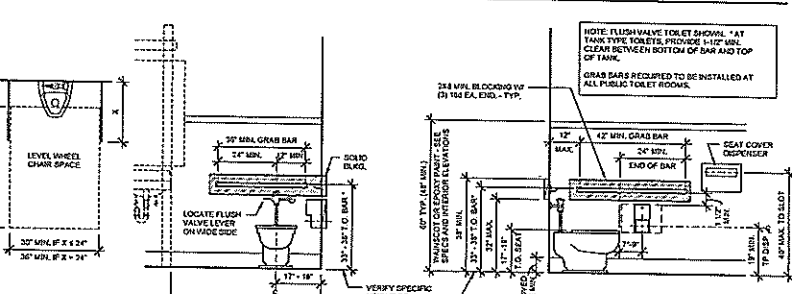
5 MISC. FIXTURE MOUNTING HEIGHTS
12\"/>



3 CLEAR FLOOR SPACE - UNITS
12\"/>



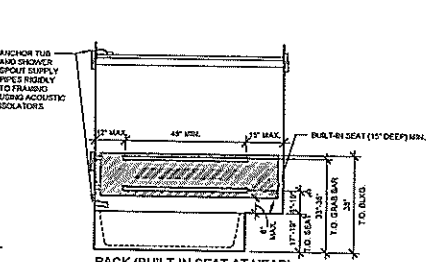
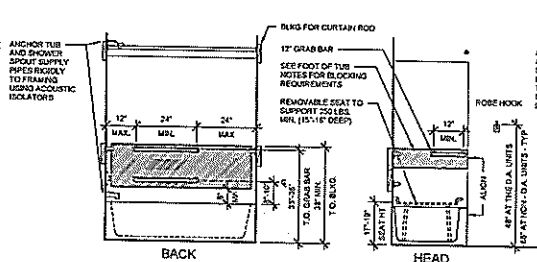
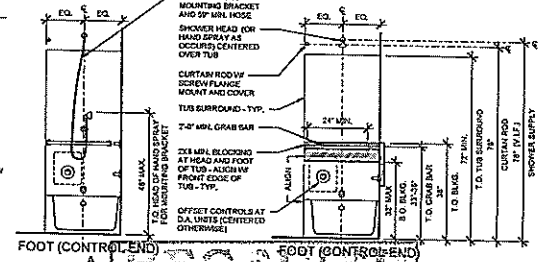
2 UNIT TOILET AND VANITY
12\"/>



1 UNIT BATHTUB
12\"/>

GENERAL NOTES - UNIT BATHROOMS

- HAND-HELD SHOWER WITH TWO MOUNTS IS REQUIRED AT "DA" DESIGNATED UNITS ON THE PLANS. PLACE ONE CLIP TYPE UNIT ON THE GOODERBACK AND A SECOND SUCH THAT HANDLES AND CONTROLS ARE BELOW 45\"/>
- SEE EXTERIOR ELEVATIONS AND NOTES FOR ACTUAL GRAB BAR TO BE INSTALLED IN THIS PROJECT. AT NEW CONSTRUCTION, BLOCKING REQUIRED IN ALL UNITS AT TUB AND TOILET LOCATIONS TO ALLOW FOR FUTURE GRAB BAR INSTALLATION.
- TANKETS AND CONTROLS SHALL BE OPERABLE WHERE HAND, AND SHALL NOT REQUIRE PINCHING, THUMB GRASPING OR TWISTING OF THE WRIST OR GREATER THAN 5 LBS TO OPERATE.



3 CLEAR FLOOR SPACE - UNITS
12\"/>

2 UNIT TOILET AND VANITY
12\"/>

1 UNIT BATHTUB
12\"/>

FEB 07 2019

BY:



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BURBANK HOUSING
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GRAVENSTEIN
APARTMENTS -
COMMUNITY
BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-075-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/04/19	DESIGN REVIEW

SCALE:	As indicated
DRAWN BY:	AY/RE
CHECKED BY:	EA
JOB NUMBER:	1801120
SHEET TITLE:	TYPICAL FIXTURE AND ACCESSORY DIMENSIONS

A-703

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BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS - COMMUNITY BUILDING

699 GRAVENSTEIN HWY N
SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

DATE	DESCRIPTION
02/06/11	DESIGN REVIEW

SCALE: As indicated

DRAWN BY: AY/RYTH

CHECKED BY: DA

JOB NUMBER: 14011.DD

SHEET TITLE

TYPICAL ACCESSIBLE KITCHEN DIMENSIONS

DRAWING

A-704

COMMENTS: 2019

REVISIONS: 2019

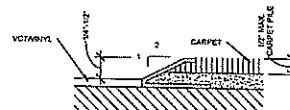
DATE: 02/06/11

BY: [Signature]

NOTES

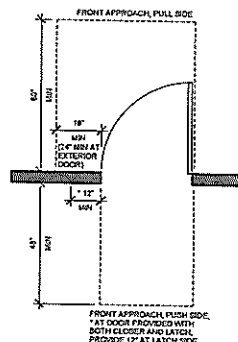
1. BASE CABINETS DIRECTLY UNDER SINKS AND SINK COUNTER AREAS INCLUDING TOE BOARD/ BASE, SHELVING AND CABINET PARTS MUST BE REMOVABLE WITHOUT THE USE OF SPECIAL TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE CLEARANCE FOR A WHEELCHAIR.

2. FOR CONDITIONS AT FIRE RATED/ ACOUSTIC ASSEMBLIES WHERE RECESSED OR SEMI-RECESSED FIXTURES OR EQUIPMENT OCCURS, V.I.F. WHERE CONDITIONS NOT COVERED BY THESE PLANS ARE ENCOUNTERED IN THE FIELD NOTIFY ARCHITECT IMMEDIATELY IN WRITING AND DO NOT PROCEED WITH AFFECTED WORK UNTIL SATISFACTORILY RESOLVED IN WRITING BY ARCHITECT.



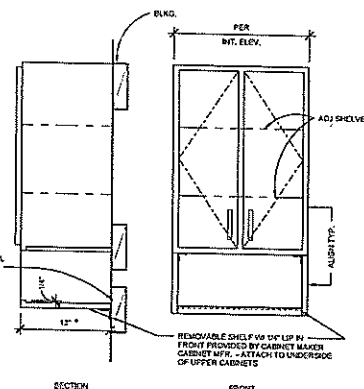
6 FLOORING TRANSITION

12" x 14"



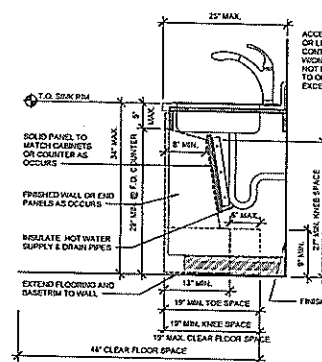
4 TYPICAL PUSH/PULL DOOR CLEARANCE

12" x 14"



3 DETAIL AT SHELF

12" x 14"

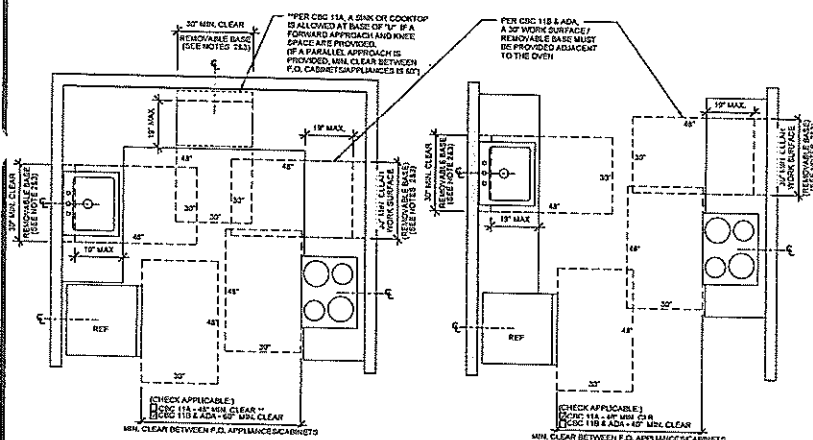


2 KNEE/TOE SPACE AT SINK

12" x 14"

5 FRONT DOOR @ ACCESSIBLE UNIT(S)

12" x 14"



CLEARANCE REQUIREMENTS AT UNSHAPE KITCHENS

CLEARANCE REQUIREMENTS AT PASS THROUGH KITCHENS

1 UNIT KITCHENS

12" x 14"

FEB 07 2019

BY: [Signature]

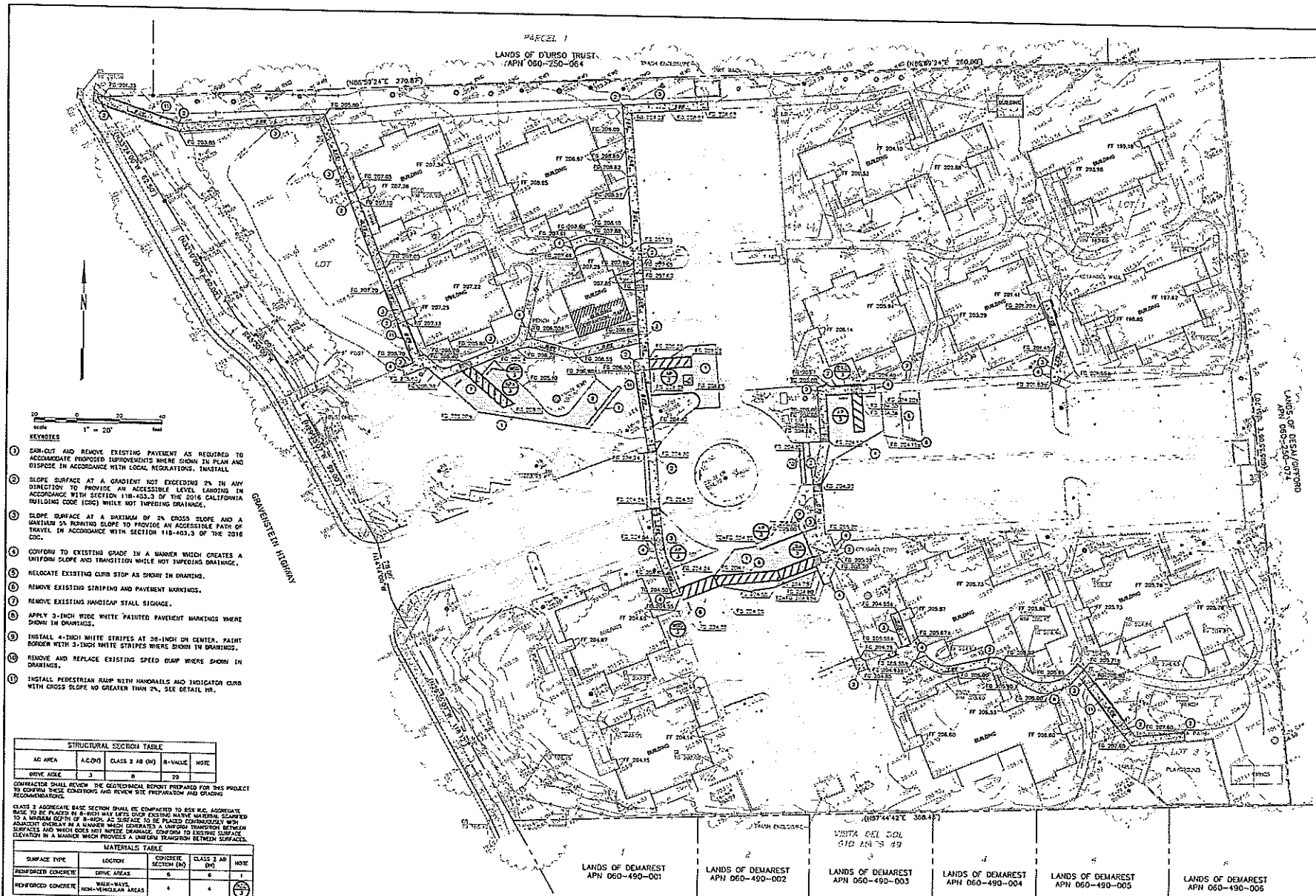


PRELIMINARY
NOT FOR CONSTRUCTION
02/06/2019
RICHARD F. CARLUCCI C 3785

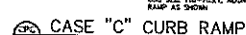
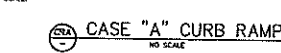
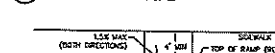
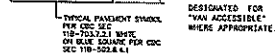
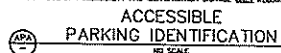


GRAVENSTEIN APARTMENTS
899 GRAVENSTEIN HWY, SEASATPOL
ACCESSIBILITY IMPROVEMENTS

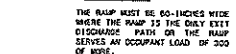
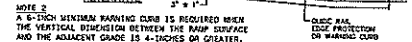
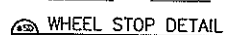
Rev	Description	Date
1	Issue for Review	02/06/2019
2	Issue for Construction	02/06/2019
3	Issue for Construction	02/06/2019
4	Issue for Construction	02/06/2019
5	Issue for Construction	02/06/2019



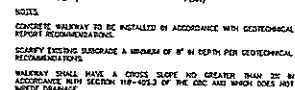
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FEB 07 2019
BY: _____



- DETECTABLE WARNING SURFACE



- 
HANDRAILS AT RAMPS
 NO SCALE



- TYPICAL CONCRETE
FLATWORK SECTION

RECEIVED
FEB 07 2019
BY:

BECKY DUCKLES
CONSULTING ARBORIST & LANDSCAPE ADVISOR
SEBASTOPOL, CA.
707.829.0555 P

ARBORIST'S REPORT

GRAVENSTEIN APARTMENTS
699 Gravenstein Highway North - Sebastopol
April 11, 2019

I visited this site on February 20th and April 5th with Kari Svanstrom, Sebastopol Planning Director as well as on April 8th with Volker Strifler, the construction manager for the property owners, Burbank Housing. The purpose of the visits was to discuss their upcoming project, regrading and repaving some parking areas and sidewalks to meet ADA requirements, in regard to potential impact on existing trees.

This site was developed decades ago, with a densely growing landscape of some previously existing coast redwood trees and a giant sequoia as well as many other ornamental trees.

There are two trees potentially impacted by proposed construction. Some roots may be impacted on a large, 54" diameter coast redwood (*Sequoia sempervirens*) and a 24" dbh coast redwood, both near the community building. We have discussed construction details for the repaving which have been incorporated into the construction documents.

During the grading for this work, a monitoring arborist should be present to insure that any excavation is done carefully, exposing any roots which may have to be cut, and supervising any necessary root pruning. Because we don't know the depth, size and number of roots which may be encountered, we will not know until they are exposed which roots can be preserved and which will have to be cut. I will remain in contact with Burbank Housing (and the City of Sebastopol) to insure that the trees and roots are protected, and that any root pruning is done with supervision and evaluation of tree stability and structural soundness.

"Tree Protection Measures:

During demolition or grading or other construction activities within the driplines of protected trees a qualified, certified arborist shall be present to observe the work. Roots shall be carefully exposed, avoiding damaging them. Any roots which cannot be preserved shall be cleanly cut under the supervision of the arborist. If in the opinion of the arborist the number of roots which must be cut significantly compromise the health and structural stability of the tree, they will recommend mitigation procedures or the possible removal of the tree."

Respectfully submitted,

Becky Duckles

Becky Duckles
Sebastopol City Arborist
ISA Certified Consulting Arborist #WE-0796A