City Council
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Planning Director
Kari Svanstrom
Assistant Planner
Dana Morrison
Administrative Assistant
Rebecca Mansour

City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: April 17, 2019

Agenda Item: 8A

<u>To</u>: Design Review Board

From: Dana Morrison, Assistant Planner

Subject: Design Review

Recommendation: Approval with Conditions

Applicant/Owner: Elizabeth Putnam of Burbank Housing

File Number: 2019-13

Address: 699 Gravenstein Highway North

<u>CEQA Status</u>: Categorical Exemption: Section 15332: Class 32

General Plan: High Density Residential PC: Planned Community

Introduction:

This is a Design Review application requesting approval to for an addition to the existing community building and site improvements in the northwest parking lot to the Planned Community which is located at 699 Gravenstein Highway South. The Planned Community District which was granted Use Permit approval in 1982, involving the development of a 60 (2-3 bedroom) units.

Burbank Housing is updating and reconfiguring some of their existing apartments to be ADA accessible. There are 3 ADA units that are existing which need modification to be brought up to the current code and there are 3 units being converted from standard units to ADA. This proposed change triggers the need to add additional ADA parking and improved paths of travel from the update/new ADA units to their designated parking stalls.

Specifically this application addresses the following; 1) request to expand the existing Burbank Housing community building, 2) request to conduct site improvements for improved path of travel and, 3) reconfiguration of the parking lot for creation of new ADA spaces, this includes a Reasonable Accommodation request to approve the reduced parking resulting from the site improvements. A request to remove various site trees has been submitted, but will be heard at a later date (these requests are not required for the proposed improvements).

Project Description:

Design Review:

1) Community Room Building Redesign and Expansion

The project involves the redesign of the existing community room building. The current building is 484 square feet and consists of a laundry room, an office and a non-accessible toilet room. The applicant is seeking approval to add an additional 297 square feet to the building, for a new total

square footage of 781. The new design would still include laundry and an office, but would also provide a small social meeting space with a kitchenette and an accessible restroom. Some design changes are proposed, but the height of the structure and the appearance of the building will match this existing building and adjacent buildings' designs.

2) Improvements to the Path of Travel –

The applicant is proposing to provide accessible slopes and conditions that improve the path of travel to and from the existing, and to-be-created, accessible units. These improvements would allow access from the units to the sidewalk in front of the site, the community building, mailboxes and to one of the site's trash enclosures. The majority of this improvement work involves making the slope of the existing walkways ADA compliant, but also includes a new concrete walkway to be added and three new accessible ramps (see page A100 in Plans).

3) Parking/Reasonable Accommodation

Burbank Housing is remodeling and updating 3 existing ADA dwelling units and converting 3 existing standard living units to be ADA units, for a total of six accessible dwelling units on the site. As part of this process Burbank Housing has proposed a reconfiguration of the existing parking lot in order to provide six accessible assigned parking stalls for these units (one accessible parking space per dwelling unit), and one unassigned van accessible parking stall to be located near the community building. These revisions will result in the loss of one parking space in the northwest lot that is being reconfigured due to additional space requirement of ADA parking. A Reasonable Accommodation is being requested to ensure Zoning Ordinance consistency for the loss of this parking spot.

Public Comment:

One comment was received from the public, from a resident who noted that the vents from the laundry room, located in the community building, are directed towards one of the complex's apartment clusters. The resident expressed concern over the fumes from chemicals used in detergents etc. As such, Planning Staff is recommending that the Conditions of Approval include a requirement for the vents for the laundry to be relocated to the south or eastern side of the building (facing the parking areas).

City Departmental Comment:

The following City Departments reviewed the application: Building and Safety, Engineering, and Fire, Public Works, Police, as well as the City Manager and City Arborist. The following comments were received:

- Building and Safety: Project will require review, inspection and final approval by CASP certified specialist.
- Fire: The Community building will require new or modifications to the sprinkler system and fire alarm system.
- Public Works: Applicant shall insure access to all water meters and backflow assemblies are maintained.
- City Arborist: Parking lot construction near the redwood tree south of the community building will need to be done with care to avoid impacting this tree. As such the City Arborist has recommended a Condition of Approvals for monitoring said tree.

Environmental Review:

The proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public

or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Section 15301(e)(1) states the following: "Additions to existing structures provided that the addition will not result in an increase of more than: 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less." The project is consistent with this categorical exemption in that it involves the reuse and minor expansion of an existing structure, and the reconfiguration of an existing parking lot.

General Plan Consistency:

The General Plan Land Use Designation for this property is High Density Residential. Per the General Plan this land use designations: Designates areas suitable for multifamily dwellings at a density of 12.1 to 25 units per acre. This designation is suitable for duplexes, apartments, townhouses, and other attached dwelling units. The proposed use includes the update and expansion of an existing community building, parking improvements and updates to the path of travel for an existing Planned Community, 60-unit, apartment complex. The proposed project is consistent with this land use designation.

Zoning Ordinance Consistency:

The site is zoned as a Planned Community (PC) District. The Zoning Ordinance states the following regarding the PC District: The purpose of the PC Planned Community District is to allow for comprehensively designed and well-planned residential developments which create an integrated community wherein all land uses are planned and designed in a comprehensive "master plan" approach, including such aspects as roadways, open space, infrastructure, architecture, and landscaping. The Planned Community District provisions are intended to encourage, through utilizing freedom of design which may deviate from the strict requirements of, but which will surpass the quality required by, the zoning regulations, a variety of residential, commercial, industrial, or a combination of such uses within the same development. These provisions shall be applicable to all parcels within the PC District and shall establish all land use controls for property within the PC District. The proposed community room expansions/update and path of travel improvements are consistent with the PC District as they are improvements to an existing developed Planned Community. The surrounding properties are either zoned as County Rural Residential, Planned Community Residential or General Commercial.

There are no base district zoning standards for the Planned Community District, and the 1982 Planned Community Use Permit approval does not include provisions regarding setbacks for building expansions etc. However, the proposed community building is located in the center of the existing apartment complex more 75 feet from the nearest property lines. The proposed community building redesign maintains these large setbacks. The proposed height of the building will remain the same (18'-5 ½").

Parking/Reasonable Accommodation Request:

Per SMC Chapter 17.425: A request for reasonable accommodation may be made by any person with a disability, their representative or any other entity, when the application of a zoning law or other land use regulation, policy or practice acts as a barrier to fair housing opportunities. A person with a disability is a person who has a physical or mental impairment that limits or substantially limits one or more major life activities, anyone who is regarded as having such impairment or anyone who has a record of such impairment. This chapter is intended to apply to those persons who are defined as disabled under the Acts.

A request for reasonable accommodation may include a modification or exception to the rules, standards and practices for the siting, development and use of housing or housing-related facilities that would eliminate regulatory barriers and provide a person with a disability equal opportunity to housing of their choice. The Planning Director will grant a request for an accommodation whenever the accommodation is necessary and reasonable.

The proposed site redesign would reduce the number of parking stalls on site to 101 spaces. This would result in a net loss of 1 parking space, for the creation of 7 ADA compliant parking spaces. The applicant is requested a Reasonable Accommodation Request under the Fair Housing Act to allow for this reduction (as found in SMC Section 17.425). Both the Federal Fair Housing Act and the California Fair Employment and Housing Act (the Acts) allow an applicant to request "reasonable accommodations" to request exceptions or modifications to regulations to remove barriers to the creation or retention of housing for persons with disabilities. These requests often occur when an applicant is modifying an existing site or facility to facilitate the retention or creation of accessible housing, or upgrades of a unit to current ADA standards. This often includes modification of parking, as ADA parking requirements for size and type of spaces has changed over time to require additional space (for van accessible spaces, etc.).

There are currently 102 parking spaces on the Burbank property. This was the original parking requirement when the Burbank Housing Planned Community Use Permit was approved in June 1982. Per their Use Permit approval "parking spaces and numbers shall be in accordance with City parking ordinance." The proposed reduction of 101 parking spaces would be one space less than the original approval.

Under the current Zoning Ordinance, the site would require 108 parking stalls (90% of the required parking for deed restricted affordable housing, which would otherwise be two spaces per 2-3 bedroom units). The site has 60 (2- and 3- bedroom) units, and the use is deed-restricted affordable housing (120 spaces x 90% = 108 spaces). However, the current Zoning Ordinance also allows on-street parking spaces to count towards the parking total of a project site. There are approximate 5 on-street parking spaces along the frontage (see below). Additionally, there is a bus stop directly to the north of the site's entry, which helps to serve many of the residents. With approval of the Reasonable Accommodation the site will be consistent with the Zoning Ordinance.



Required Findings:

Required Reasonable Accommodation Findings:

The written decision to grant or deny a request for reasonable accommodation will be consistent with the Acts and shall be based on consideration of the following factors:

- 1. Whether the housing, which is the subject of the request, will be used by an individual disabled under the Acts.
- 2. Whether the request for reasonable accommodation is necessary to make specific housing available to an individual with a disability under the Acts.
- 3. Whether the requested reasonable accommodation would impose an undue financial or administrative burden on the City.
- 4. Whether the requested reasonable accommodation would require a fundamental alteration in the nature of a City program or law, including but not limited to land use and zoning.
- 5. The accommodation is necessary:
 - a) The accommodation is necessary if, without the accommodation, the person with a disability would not have an equal opportunity to live in the dwelling of his or her choice.
 - b) A person would not have an equal opportunity to live in a dwelling if, without the accommodation:
 - i. The person would be excluded from a neighborhood; or
 - ii. The person would have less of an opportunity to live in the neighborhood or the particular dwelling than persons who do not have disabilities.
- 6. The accommodation is reasonable. An accommodation is reasonable if it:
 - a. Does not create an undue financial or administrative burden for the City; and
 - b. Will not fundamentally alter the zoning scheme of the City.
- 7. Potential impact on surrounding uses.
- 8. Physical attributes of the property and structures.
- 9. Alternative reasonable accommodations which may provide an equivalent level of benefit.

Required Design Review Findings:

Section 17.310.030.B.2 of the Zoning Ordinance establishes the following Design Review Procedure: In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

- a) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol.
- b) The design provides appropriate transitions and relationships to adjacent properties and the public right of way.
- c) It would not impair the desirability of investment or occupation in the neighborhood.
- d) The design is internally consistent and harmonious.
- e) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter.

Staff Analysis:

The project is requesting approval to redesign the existing community building, improve paths of travel, as well as redesign the parking lot is to reduce the number of off-street parking spaces for 699 Gravenstein Highway North from 102 to 101, a net loss of 1 space (this request includes a Reasonable Accommodation). This request is to accommodate the creation of 4 additional ADA spaces (in addition to the 3 existing ADA spaces). Overall the requests appear appropriate.

The site is being redesigned to accommodate the properties' redesigned and newly created ADA units (totaling 6 units), to increase the access to housing for disabled individuals. The requested parking reduction is necessary to create ADA compliant parking spaces for the 6 ADA units, and an ADA van accessible stall for the project's community building. Staff has reviewed the site and alternatives proposed by the applicant, and there does not appear to be any other appropriate areas to create additional parking. Other options considered were not reasonably feasible, such as the further extension of this lot to the east, which would require removal of a large redwood tree south of the community building.

The proposed accommodation would not create a financial or administrative burden for the City as the financial burden of implementing and constructing the requested changes falls on the applicant. The proposed parking reduction would not create a fundamental alteration in the nature of a City program or law, as the proposed accommodation will only result in the loss of one parking space and, with the on-street parking spaces included, the site will not be under-parked per their 1982 approved Use Permit. Without this accommodation the facility will not have adequate ADA parking.

Based on the above findings, staff believes the request is reasonable. The proposed site redesign, which will accommodate the new parking stalls and path of travel, are minimal and would not have an impact on the surrounding residential units beyond construction activities. The proposed site redesigns also improve crosswalks and paths of travel within the project.

The application was routed to the City Departments for comments and the only comment relating to the ADA site redesign and accommodation was from the Building Department and City Arborist. The Building Official noted that the project will require review, inspection and final approval by a CASP certified specialist (Certified Access Specialist). The City Arborist expressed concerns regarding the two trees located near where some of the path of travel and parking lot improvements are proposed. As such, she has recommended appropriate mitigation measures and protections that can be used to ensure the health and welfare of the trees on site during construction. These have been included as Conditions of Approval. As such, staff supports the approval of this request.

The project also involves the development of an updated community building and paths of travel for newly refurbished or created ADA apartment units. Overall, the Board could find that this project is appropriate for the location and greater Sebastopol for several reasons.

The project complies with the General Plan in that is a community building located within a Planned Community, and the site and design updates will revitalize the existing planned community apartment complex. The Board could also find the project to be compatible with the neighborhood and greater Sebastopol in that the building will have materials, colors, and architectural features, which are present throughout the Planned Community development and that the overall design is very similar to the existing structure. The site improvements also greatly enhance the path of travel for all residents of the facility.

The project will contain trees and plantings, which provides a natural aesthetic element to the overall urban character of the site. Further Conditions of Approval from the City Arborist to ensure the protection of any trees located near the path of travel improvements have been included and the project will be returning at a later date for review of proposed site tree removals and replacement landscaping/maintenance plans.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report, if there is a consensus that the design of the project is compatible with the site.

Alternatively, the Board may find that revisions are necessary and a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Attachments:

- Master Planning Application Form
- Project Description Letter
- Reasonable Accommodation Letter
- Location Map
- Site Photos
- Arborist Report
- Plan Submittal

DESIGN REVIEW PERMIT: 2019-13

699 Gravenstein Highway North

Update and expand existing Community Building, improve paths of travel, and parking lot redesign

RECOMMENDED FINDINGS FOR APPROVAL:

- 1. That the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
- 2. That the project is consistent with the General Plan Land Use Designation in that the proposed use includes the update and expansion of an existing community building, parking improvements and updates to the path of travel for an existing Planned Community, 60-unit, apartment complex.
- **3.** That the project is consistent with the Zoning Ordinance in that it complies with the PC: Planned Community District and the applicable development standards as approved and conditioned.
- 4. That the design of the project will be compatible with the neighborhood and the general visual character of Sebastopol in that redesign and expansion to the community building will revitalize a structure which was constructed decades ago will constructed of materials, colors, and contain architectural features, which are present throughout the Planned Community development and that the overall design is very similar to the existing structure.
- **5.** That the project will not impair the desirability of investment or occupation in the neighborhood in that it will redevelop an existing structure and improve existing paths of travel.
- **6.** That the project provides appropriate transitions and relationships to adjacent properties and the public right-of-way in that building is appropriately setback from the property lines and adjacent buildings.

RECOMMENDED CONDTIONS OF APPROVAL:

- 1. Approval is granted for the Design Review submittal described in the application and the plans date stamped February 7, 2019. This approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section §17.450.020(4) of the Zoning Ordinance.
- 2. The applicant shall return for review of the proposed Tree Removals, including a proposed replacement and maintenance landscape plan before issuance of any building permits or any site improvements.
- **3.** All construction shall conform to the approved plans, unless the design is modified herein. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
- 4. The project shall require review, inspection and final approval by CASP certified specialist.

- **5.** The Community building shall require new or modifications to the sprinkler system and fire alarm system.
- **6.** Vents for the Community building shall be orientated towards the south or east (towards facing the parking areas), not the north or west.
- 7. The applicant shall insure access to all water meters and backflow assemblies are maintained.
- **8.** Construction details for the repaving that provides for root protection shall be incorporated in to the construction documents. These documents shall be reviewed and approved by the City Arborist.
- 9. During demolition or grading or other construction activities within the driplines of protected trees a qualified, certified arborist shall be present to observe the work. Roots shall be carefully exposed, avoiding damaging them. Any roots which cannot be preserved shall be cleanly cut under the supervision of the arborist. If in the opinion of the arborist the number of roots which must be cut significantly compromise the health and structural stability of the tree, they will recommend mitigation procedures or the possible removal of the tree.
- 10. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
- **11.** The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.
- **12.** Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
- 13. The applicant may be required to obtain approval of improvement plans by the Engineering Department, and fulfill any requirements necessary for issuance of a Building Permit, prior to approval of any site improvements or Building Permits. The applicant may need to return to the Planning Commission and/or the Design Review Board for review at City staff's discretion, if any site changes are necessary, as a result of improvement plans.

Reasonable Accommodation Request: 2019-13
699 Gravenstein Highway North
Reduce site parking to 101 spaces, from 102, to create 3 new ADA compliant parking spaces, for a total of 7 ADA compliant parking spaces

RECOMMENDED FINDINGS FOR APPROVAL

- 1. That the application is categorically exempt from the requirements of CEQA under Section 15301, Class 1, which includes operation, repair, maintenance or minor alteration of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
- 2. That the site is being redesigned to accommodate the properties' redesigned and newly

- created ADA units (total of 6 ADA dwelling units), to provide additional housing opportunities for disabled individuals
- **3.** That there are no reasonable solutions to add additional parking to the site. The requested parking reduction is necessary to create ADA compliant parking spaces for the 6 ADA units, and an ADA van accessible stall for the project's community building.
- **4.** That the proposed accommodation would not create a financial or administrative burden for the City as the financial burden of implementing and constructing the proposed changes fall on the applicant.
- 5. That the proposed parking reduction would not create a fundamental alteration in the nature of a City program or law, as the proposed accommodation will only result in the loss of one on-site parking space, and on-street parking spaces are available to supplement the on-site parking.
- **6.** That without this accommodation the facility will not have adequate ADA parking and based on the above the request is reasonable.
- 7. That the proposed site redesign, to accommodate the new parking stalls and path of travel, are minimal and would not have an impact on the surrounding residential units beyond construction activities.
- 8. That the proposed site redesign improves crosswalks and paths-of-travel for the entire project.

RECOMMENDED CONDTIONS OF APPROVAL:

- 1. Approval is granted for the Reasonable Accommodation Request described in the application date-stamped February 13, 2019, except as modified by these Conditions of Approval, and is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this permit from the Planning Director, pursuant to Zoning Ordinance §17.450.020(4).
- 2. The project shall require review, inspection and final approval by a CASP certified specialist (Certified Access SPecialist).



City of Sebastopol
Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472 (707) 823-6167 (Phone) or (707) 823-1135 (Fax) www.ci.sebastopol.ca.us

MASTER PLANNING APPLICATION FORM

PROJEC	T INFORMATION:	FOR CITY USE ONLY
Address:	699 GRAVENSTEN HWY N	PLANNING FILE #: 20 9 1 /3 Date filed: 2.7.2019
PARCEL#:	06-025-071 +072 + 073	TOTAL FEES PAID: \$ 1405 00
PARCEL AREA:	3,56 ACRES	DATE APPLICATION DEEMED COMPLETE:
Name: <u>Fli</u>	NT OR AGENT: rabeth Putnam ss: Elizabeth @waassoc.com	OWNER OF PROPERTY IF OTHER THAN APPLICANT: Name: Marianne Lim
	•	Email Address: MLim & burbankhow sing. org
	ess: 990 A street Ste 202	Mailing Address: 790 Souoma Ave.
	: San Rafael CA 94901	City/State/Zip: Sauda Rosa CA 95404
	415 485 9797	Phone: 707 526 9782
		Fax:
	nse #:	Business License #
Signature:	H Ma	Signature: human him
Date: Fel	6,2019	I certify that this application is being made with my consent. Date: 2-6-19
OTHER PER	RSONS TO BE NOTIFIED: (Include A	Agents, Architects, Engineers, etc.).
Name: An	UES COLES.	Name:
Email Address	s: icdes @ housing-tools, com	Email Address:
	Sugar Cill of And	Mailing Address:
	1 to all areas	City/State/Zip:
	25 2011	Phone:
		Fax:
		EIVED RECEIVED
		7 2019 FEB 8 6 2019

DESCRIBE IN DETAIL, the proposed project and permit request. (Attach additional pages, if needed): Reno vation + Expansion of community Accommodation Review □ No This application includes the checklist for the type of application requested: Please indicate the type(s) of application that is being requested (example: Use Permit, Design Review, Variance, Planned Community Rezone, etc.): eggn Roview, tree Romand, Reasonable Please describe existing uses (businesses, residences, etc.) and other structures on the property: maintenance **DEVELOPMENT DATA:** Community Room BUILDING only SQUARE FEET BUILDING EXISTING: □ N/A N/A SQUARE FEET BUILDING DEMOLISHED: SQUARE FEET BUILDING NEW: □ N/A **NET CHANGE IN BUILDING SQUARE FEET:** 297 # □ N/A 0 Bedrooms ☐ 1 Bedrooms NUMBER OF DWELLING UNITS EXISTING: ☐ 2 Bedrooms ☐ 3 Bedrooms FIN/A 4+ Bedrooms ☐ 0 Bedrooms ☐ 1 Bedrooms NUMBER OF DWELLING UNITS PROPOSED: 2 Bedrooms ☐ 3 Bedrooms ØN/A 4+ Bedrooms **NET CHANGE IN DWELLING UNITS:** Ø N/A Existing: Proposed: ☐ Front Yard ☐ Front Yard SETBACKS: ☐ Side Yard ____ ☐ Side Yard ____ ☐ Rear Yard _____ ☐ Rear Yard DN/A \square N/A RECEIVED FEB 0 7 2019

BY: Master Planning Application Form/2017-18 Planning Fees/Last updated: 10/01/18 @ 10:48 AM

PROJECT DESCRIPTION

	Ev	ISTING LOT DIMENSIONS:	Front:	Rear:	
	EX	ISTING LOT DIMENSIONS.	Left:	Right:	A N/
			Front:	Rear:	,
	PROF	POSED LOT DIMENSIONS:	Left:	Right:	A N
		Existing Lot Area:	155,073.6 Square F	eet	□ N/ A
		PROPOSED LOT AREA:	Square F	eet	A N/
	٠	BUILDING HEIGHT:	Existing: 18'-51/2"	Proposed:	A A
		Number of Stories:	Existing:	Proposed:/	Ø N/ A
,		PARKING SPACE (S):	Existing: 102	Proposed: /0/	□ N/ A
		Zoning	Existing: PC	Proposed: PC	DKN/ A
W	ill the project involve	a new curb cut or drive	way?	□Yes	-DNo
Ar	e there existing ease	ements on the property?		⊠Yes	□No
	ill Trees be removed ves, please describe	1.5	Location on property, etc.	∠ Yes	□No
	see attache	d application			
	30	1.*			
	Il Existing Landscapi ves, what is square for	ing be revised? potage of new or revised	d landscaping?	Yes	□No
	tree Replace	ment see at	tached application	 ,	
			- 17	V	
∕Vil	Il Signs be Changed	or Added?		□Yes	₽No
3us	siness: Hours of Ope	eration? Open:	Close:	=	
s a	alcohol service propo	osed?		□Yes	/No
f ye	es, what type of Stat	e alcohol license is prop	oosed?		
			Beverage Control for a lice		/No
			, bar, or nightclub, please i		seats:
s a	ny live entertainmen	t proposed?		☐Yes	No
Ye	es please describe	4.			
F	EB 0 7 2019	Master Planning Application	on Form/2017-18 Planning Fees/Last upda	ated: 10/01/18 @ 10:48 AM	Page 3

BY:

INDEMNIFICATION AGREEMENT

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

XH IL	2.7.10	1019-13
Applicant's Signature	Date Signed	Planning File Number
NOTE: The purpose of the ind potential legal costs an	emnification agreement is to allo d liabilities in conjunction with pe	w the City to be held harmless in terms of ermit processing and approval.
	NOTICE OF MAIL	NG.
	NOTICE OF WAIL	110.
mail addresses or facsimiles vergeneratives, property owner	vill be used for sending out staff	reports and agendas to applicants, their
epresentatives, property owner lease sign and acknowledge	vill be used for sending out staff rs, and others to be notified.	
epresentatives, property owner	will be used for sending out staff is, and others to be notified. Eyou have been notified of the ss or fax number.	reports and agendas to applicants, their

NOTE: It is the responsibility of the applicant and their representative to be aware of an abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however the applicant has responsibility for determining and following applicable regulations.

FEB 0 7 2019
BY:



In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, resident and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: No	☐Yes	
If yes, or if you will inform neighbors in the future, please describe outro	each efforts:	\
	-	

WEBSITE REQUIRED FOR MAJOR PROJECTS

Applicants for major development projects (which involves proposed development of 25,000 square feet of new floor area or greater, or 25 or more dwelling units), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning's, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

√ Project description√ Contact information

Contact information for the applicant, including address, phone number, and email address

√ Map showing project location

√ Photographs of project site

Project plans and drawings

REC	E	IV	ED
FEB	0 '	7 20	19
BY:			

Exemption Questionnaire STORM WATER LOW IMPACT DEVELOPMENT

Purpose: This questionnaire will determine *whether* or *not* you need to submit the 'Storm Water Low Impact Development Determination Worksheet' as part of this application. Any application that does not contain this questionnaire OR the Determination Worksheet will be deemed incomplete.

deemed incomplete.	nis questionnaire ON the Determination	
PROJECT ADDRESS:		
TYPE OF APPLICATION		
under any of the below listed app	Determination Worksheet' submittal requirection categories. However, the City of Worksheet', as determined on a case-by	Staff may require
☐ Administrative Review	(Interior Improvements or Use)	
☐ Sign Review		
☐ Temporary Use Permit		
☐ Time Extension Reques	st	
☐ Zoning Determination o	r Interpretation	
The project is exempt from the 'S Determination Worksheet' subm	Storm Water Low Impact Developmer ittal requirement as determined by Ci	nt ity Staff.
I certify this information:		
Munin frin	Marianne Lim Director of Housing Development	2/10/19
APPLICANT SIGNATURE	PRINTED NAME	DATE





The scope of this project includes an expansion of a community room building, path of travel improvements and a reconfiguration of the parking lot for the multi-family residential complex at 699 Gravenstein Hwy North.

The current community room building has a laundry room, an office and a non-accessible toilet room. Burbank housing would like to provide a small social space for the residents, including a small kitchenette and an accessible restroom, while still providing a laundry room and office. The square footage of the building will increase by 297 square feet. The roof height will remain the same. While the roof changes, the exterior appearance of the building will be in the spirit of the existing and the adjacent buildings.

We are proposing improvements to the path of travel to provide accessible slopes and conditions that would allow access from the accessible units to the sidewalk in front of the site, the community building, one of the trash enclosures, the mailboxes and the tot lot. Most of this work involves making the slope of an existing walkway compliant; however, there will be a new concrete walkway added and three new accessible ramps.

We are reconfiguring the parking lot in order to provide six accessible assigned parking stalls, for the six accessible dwelling units, and one unassigned van accessible parking stall. Due to the fact that the site is sloped and has many heritage trees providing these larger stalls—one parking stall will be lost, new curbs will need to be added, and a small amount of turf will be payed.

T:\Gravenstein Apts_18011\Admin\LTR_190211 Project Statement.docx

WEIR | ANDREWSON ASSOCIATES, INC.



W|A Project #: 18011

February 11, 2019

Ms. Kari Svanstrom Planning Director City of Sebastopol 7120 Bodega Avenue Sebastopol, CA 95472

Email: ksvanstrom@cityofsebastopol.org

Subject:

699 Gravenstein Hwy North

Dear Ms. Svanstrom,

We are requesting a reasonable accommodation waiver for the parking stall requirement on behalf of Burbank Housing, Inc. The scope of work for our project at 699 Gravenstein Hwy North, a multifamily residential site, includes the conversion of six standard dwelling units into six accessible dwelling units.

In order to provide an accessible parking stall for each of the six accessible units, as well as a van accessible stall for the community room building, the parking lot needed to be reconfigured. The site has many heritage trees and significant slopes that made this reconfiguration a challenge. The solution we are presenting is a net loss of one visitor parking stall.

Section 17.110.030 of the Zoning ordinance states we would need to provide two spaces for each 2-3 bedroom unit. This project has 60, so we would be required to provide 120 parking stalls. However, the existing parking lot has only 102 stalls. Our proposal makes significant effort to match the non-conforming condition while providing parking for the new accessible units. We request that you allow us to provide 101 parking stalls.

If you have any questions or concerns please let us know. Thank you for your time and consideration.

Sincerely,

Elizabeth Putnam, AIA Senior Project Manager

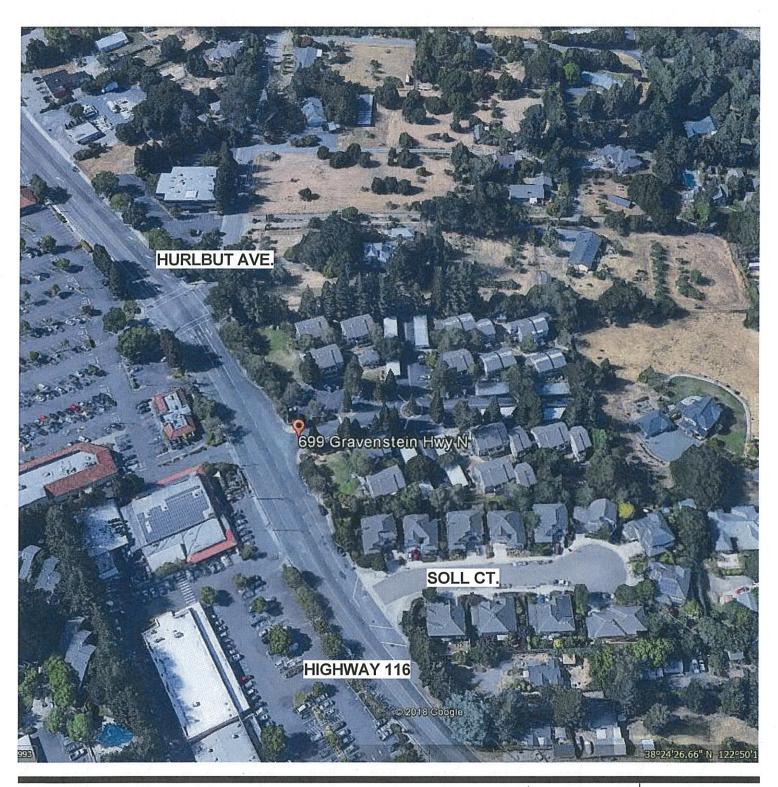
cc: Volker Strifler, Burbank Housing
James Coles, Housing Tools
Mike Rogers, Mike Rogers Development Consulting

EP/kp

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990 A Street, Suite 202 | San Rafael, CA 94901 | 1: 415.485.9797 | www.waassoc.com







GRAVENSTEIN APARTMENTS

BURBANK HOUSING DEVELOPMENT

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472 JOB #:

18011.00

DATE:

01/16/19

DRAWN:

1

CHECKED:

T.01

SITE PHOTOGRAPHS



Across Site Towards East



Across Site Towards West



Across Site toward South



Across Site toward North

Gravenstein Apartments



Looking South Along Gravenstein Hwy N



Looking North Along Gravenstein Hwy N



Exterior View of Subject



Exterior View of Subject

SUBJECT PROPERTY PHOTOGRAPHS

Exterior View of Subject



View of Leasing Office



Typical Parking

Exterior View of Subject



Typical Parking



Subject Driveway

SUBJECT PROPERTY PHOTOGRAPHS



Exterior View of Subject (Photo Taken on December 4, 2018)



Exterior View of Subject (Photo Taken on December 4, 2018)



Exterior View of Subject (Photo Taken on December 4, 2018)



Exterior View of Subject (Photo Taken on December 4, 2018)



Exterior View of Subject (Photo Taken on December 4, 2018)



Exterior View of Subject (Photo Taken on December 4, 2018)

NEIGHBORHOOD PHOTOGRAPHS

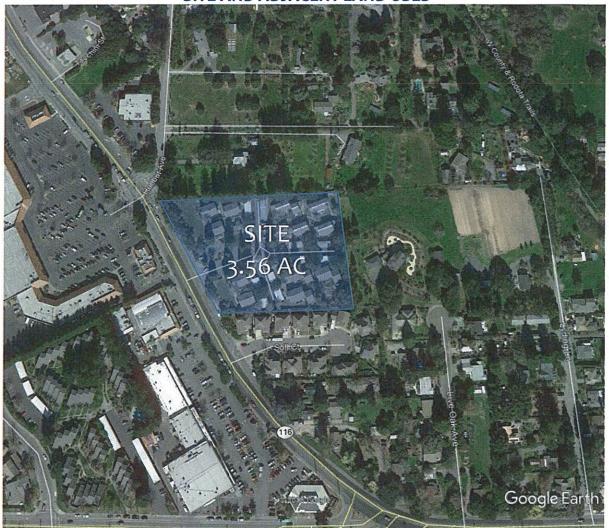




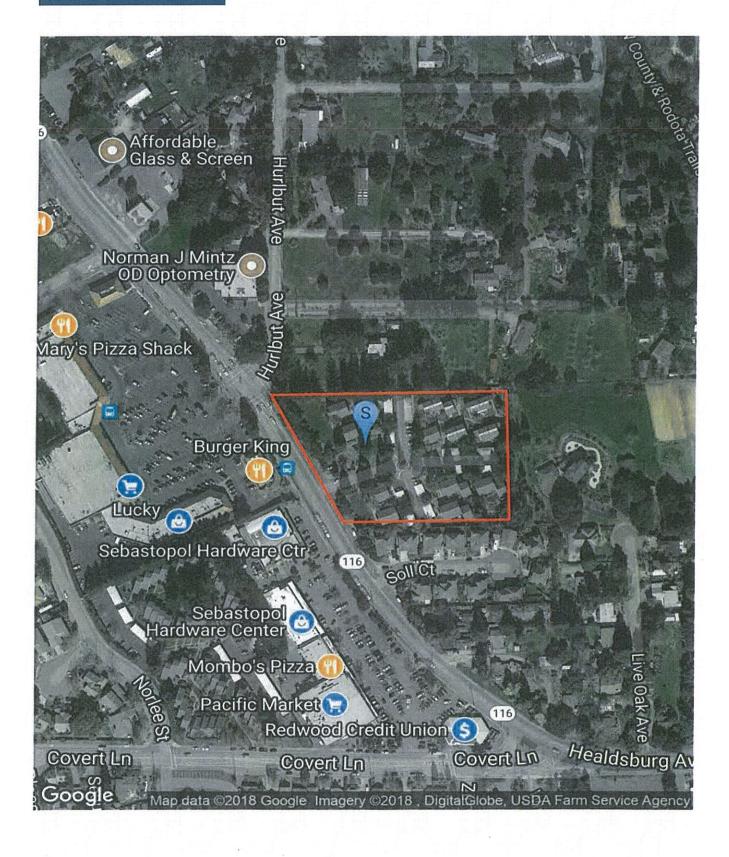




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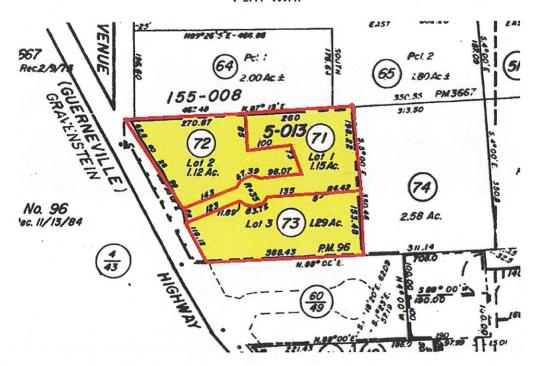


AERIAL PHOTOGRAPH



PLAT MAP

*(* 1 " .)



AERIAL MAP



BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS - COMMUNITY BUILDING



699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073



WEIR ANDREWSON ASSOCIATES, INC.

Son Roisel, CA 94901 1:415.485.9797 F:4-5.485.9799 www.woossoc.com



BURBANK HOUSING

GRAVENSTFIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/06/19	DESIGN REVIEW

SCALE:	12" = 150"
DRAWN BY:	MR VZ EP
CHECKED BY:	EM
JOB NUMBER:	18011.00
SHEET TITLE	of other
COVER	





PROJECT DIRECTORY

OWNER:

ARCHITECT:

TEL: (415) 485-9797 FAX: (415) 485-9799

CONTACT: ERICK MOREAL

STRUCTURAL ENGINEER:

CONTACT: SCOTT JOH

CONTRACTOR:

PRECISION GCC, INC. 1101 E STREET SACRAMENTO, CA 95814

BUILDING TYPE: TWO-STORY WOODLE

PROJECT DESCRIPTION

EXISTING LOT AREA: 3,56 ACRES PARKING: 102 STALLS TOTAL; 56 OF WHICH ARE COVERED CARPORT.

PROJECT DATA

PC - PLANNED COMMUNITY

SEISMIC ZONE: 4 - AREA WI HIGH PROBABILITY OF SIGNIFICANT SE

(P) SQUARE FOOTAGE

APPLICABLE CODES

DRAWING INDEX

COVER
ABBREVIATION, SYMBOLS LIST, AND CODE AT
PROJECT GENERAL NOTES

TASK NOTES TASK NOTES SITE PLAN

RECEIVED

VICINITY MAP



WEIR ANDREWSON ASSOCIATES, INC. ARCHITECTS & ENGINEERS

990 A Street: Saite 202 Son Roisel, CA 94901 1:415.485.9797 F:415.485.9799 WWW.WOOSSOC.COM



BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

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ABBREVIATION, SYMBOLS LIST, AND CODE ANALYSIS

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- 19. PROTECTION OF WORK: CONTRACTORS SHALL USE ALL MEANS NECESSARY TO PROTECT THE MATERIAL OF THEIR WORK BEFORE, DURIND, AMO AFTER TRADES. IN THE EVENT OF OUT THE WORK BEFORE, DURIND, AMO AFTER TRADES. IN THE EVENT OF OUT THE WORK THE TRADES OF REPLACEDIST SHALL BE MADE TO THE APPROVAL OF WAAT TO ADDITIONAL COST TO THE OWNER.
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- 22. ALTERATION OF STRUCTURAL ELEMENTS: ANY OPENINGS, HOLES, OR CUTS NOT SHOWN ON THE STRUCTURAL DRAWINGS AND EXTENDING INTO OR THROUGH STRUCTURAL ELEMENTS REQUIRE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER AND MAY REQUI
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SUBMITTALS FOR THIS PROJECT INCLUDE: SEE MANUAL

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- COVERING WORK BEFORE REVIEW: CONTRACTOR SHALL NOT ALLOW FURTHER WORK TO PROCEED IF IT OBSCURES PREVIOUS WORK THAT HAS NOT RECEIVED REQUIRED APPROVALS.
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- WARRANTY FOLLOW-UP: TEN MONTHS FOLLOWING DATE OF SUBSTANTIAL COMPLETION CONTRACTOR SHALL HOLD A MEETING WITH THE OWNER AND THE ARCHITECT FOR THE PURPOSE OF REVIEWING THE WARRANTIES AGAIN ANY APPLICABLE WARRANTY CLAIMS.

- 36. TEMPORARY FACILITIES: PROVIDE TEMPORARY FACILITIES AS DESCRIBED BELOW
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STRUCTURAL OBSERVATION: PROVIDE FOR STRUCTURAL OBSERVATION IN ACCORDANCE WITH CBC SECTION 1709 AFTER THE INSTALLATION OF THE FOLLOWING WORK:

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WEIR ANDREWSON ASSOCIATES, INC.

990 A Street, Sulla 202 San Roinel, CA 94901 T:415.485.9797 F:4 15 485 9700 www.waassoc.com



BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK DATE DESCRIPTION 07/06/19 DESIGN REVIEW

CHECKED BY JOS NUMBER: 18011.00

PROJECT GENERAL NOTES

A-003

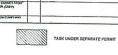
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WEIR ANDREWSON
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BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

RK DATE DESCRIPTION
02/06/19 DESIGN REVIEW

SCALE:		
DRAWN BY:	VZ EP	
CHECKED BY:	Ем	
JOB NUMBER:	18011.00	
SHEET TITLE	1 101	

TASK NOTES

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A-004





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GRAVENSTEIN - TASK MATRIX

GRAVENSTEIN - TASK MATRIX Last seating 19 (20), as						
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BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK	DATE	DESCRIPTION
	02/06/19	DESIGN REVIEW

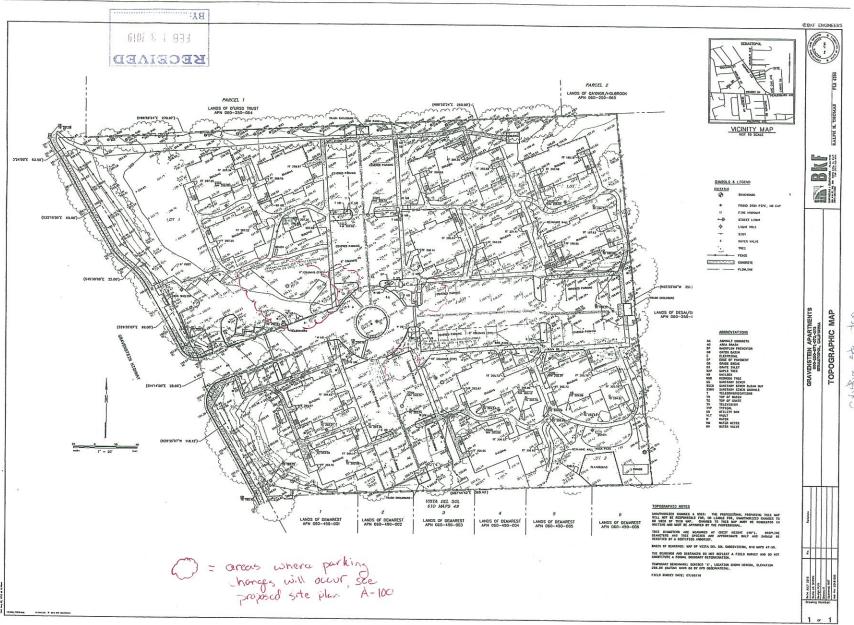
SCALE:		
DRAWN BY:	VZ EP	
CHECKED BY:	EM	
IOB NUMBER:	18011.00	

TASK NOTES

DRAWING







CASIS HE HE



TRASH ENCLOSURE UNDER SEPARATE PERMIT

(E) BUILDING # 10

(TYPE 4)

(E) BUILDING # 13

(TYPE 5)

(E) BUILDING # 11

(E) BUILDING # 12

(TYPE 3)

LOT 1

(E) BUILDING # 13

(TYPE 2)

(6)

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WEIR ANDREWSON ASSOCIATES, INC.

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BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK DATE DESCRIPTION 09/11/2018 CUENT REVIEW

SCALE:	3/64" = 11-0"
DRAWN BY:	VZ
CHECKED BY:	EP
JOB NUMBER:	18011,00
SHEET TITLE	

SITE PLAN

A-100

FEB 0 7 2019

PARCEL 1

(E) BUILDING # 9 (TYPE 7)

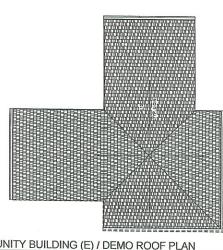
(E) BUILDING # 8

(TYPE 5)

(E) BUILDING # (TYPE 5)

LOT 1

AREA OF WORK -

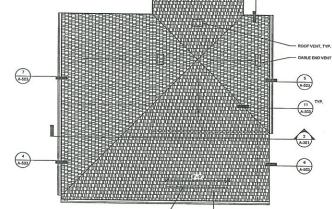


COMMUNITY BUILDING (E) / DEMO ROOF PLAN

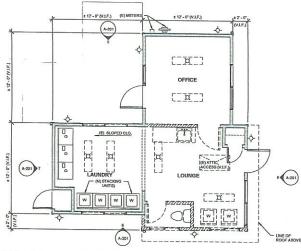
PER CRC 1303.2, SINCE AT LEAST 40% AND NOT MORE THAN 50% OF THE TOTAL VENT AREA IS LOCATED IN THE UPPER PORTION OF THE VENTILATED SPACE, THE PROJECT IS ALLOWED TO USE 1300 A THE RATIO OF TOTAL VENT ARE TO TTIC AREA.

CALCULATIONS

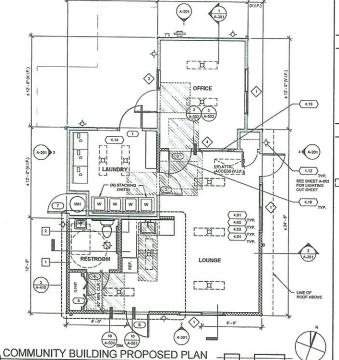
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COMMUNITY BUILDING PROPOSED ROOF PLAN



COMMUNITY BUILDING (E) / DEMO PLAN



GENERAL SHEET NOTES

- REFER TO SHEETS A-004, A-005 & A-006 FOR TASK NOTES.
- REFER TO SHEET A-007 FOR UNIT MATRIX.
- REFER TO SHEET A-601 FOR SCHEDULES.
- REFER TO SHEET A-701 FOR TYPICAL SITE ACCESSIBLE ITEMS. REFER TO SHEET A-702 FOR TYPICAL SIGNAGE REQUIREMENTS
- REFER TO SHEET A-702 FOR TYPICAL FIXTURE & ACCESSORY
- REFER TO SHEET A-704 FOR TYPICAL KITCHEN DIMENSIONS.
- REFER TO SHEETS T24 1 & T24 2 FOR ENERGY REQUIREMENTS
- REFER TO CIVIL SHEETS FOR SITE WORK
- REFER TO MECHANICAL SHEETS FOR MECHANICAL WORK.
- REFER TO PLUMBING SHEETS FOR PLUMBING WORK.



ASSOCIATES, INC.

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SITE LIGHTING (BUILDINGS)	
INTERIOR PAINTING	
DRYWALL REPAIRS	
INTERIOR LIGHTING	-
FLOORING	
LAUNDRY ROOM	_
INTERIOR DOORS	
INTERIOR WINDOW	_
	INTERIOR PAINTING DRYWALL REPAIRS INTERIOR LIGHTING FLOORING LUNDRY ROOM INTERIOR DOORS

(E) TO REMAIN

WALL TYPE 1, SEE DETAIL 1 / A-502

WALL TYPE 2, SEE DETAIL 4 / A-502

BURBANK HOUSING DEVELOPMENT

GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

699 GRAVENSTEIN HWY N SEBASTOPOL, CA 95472

APN 06-025-071, -072, & -073

MARK DATE DESCRIPTION 02/06/19 DESIGN REVIEW

SYMBOLS LEGEND

TITITITIE DEMO

WALL LEGEND

- - -	WALL MOUNTED LIGHT		
¤	CEILING / FLUSH MOUNTED LIGHT		
0	RECESSED CAN CEILING LIGHT		
	2X4 RECESSED CEILING LIGHT		
[[@]]	1X4 SURFACE MOUNTED CEILING LIGHT		
-(A)	LIGHT FIXTURE TYPE TAG, SEE SCHEDULE A-601		
0	PNEUMATIC SWITCH FOR DISPOSAL		
\$	LIGHT SWITCH		
Ş,	3 WAY LIGHT SWITCH		
Ŏ	WALL MOUNTED EXHAUST FAN		
4	EXHAUST FAN / LIGHT		
	EXHAUST FAN		
O4	THERMOSTAT		
0	SMOKE DETECTOR		
0	CARBON MONOXIDE DETJALARM		
ALE:	FIRE EXTINGUISHER CABINET		
9	DUPLEX OUTLET		
Pon	GFI DUPLEX OUTLET		
Q	GARBAGE DISPOSAL		
21-01-12	FLOORING THANSITION		
VP	VINYL PLANK		
SV	SHEET VINYL		

CARPET TILE CARPET

CHECKED BY: JOS NUMBER: 18011 00

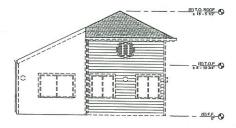
COMMUNITY BUILDING FLOOR PLAN

A-101

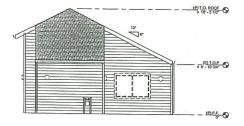
COMMUNITY BUILDING - (E)/DEMO EAST ELEVATION



COMMUNITY BUILDING - (E)/DEMO WEST ELEVATION



6 COMMUNITY BUILDING - (E)/DEMO SOUTH ELEVATION



COMMUNITY BUILDING - (E)/DEMO NORTH ELEVATION



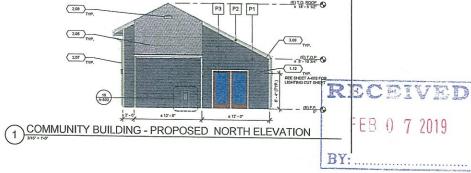
COMMUNITY BUILDING - PROPOSED EAST ELEVATION



COMMUNITY BUILDING - PROPOSED WEST ELEVATION



COMMUNITY BUILDING - PROPOSED SOUTH ELEVATION



GENERAL SHEET NOTES

- REFER TO SHEETS A-004, A-005 & A-005 FOR TASK NOTES
- REFER TO SHEET A-007 FOR UNIT MATRIX
- REFER TO SHEET A-601 FOR SCHEDULES.
- REFER TO SHEET A-701 FOR TYPICAL SITE ACCESSIBLE ITEMS. REFER TO SHEET A-702 FOR TYPICAL SIGNAGE REQUIREMENTS

- REFER TO SHEETS T24.1 & T24.2 FOR ENERGY REQUIREMENTS.
- REFER TO CIVIL SHEETS FOR SITE WORK,
- REFER TO MECHANICAL SHEETS FOR MECHANICAL WORK

SHEET TASK NOTES

KELLY-MOORE - HLS4277 STEIGLITZ FOG

KELLY-MOORE - KM5429 GRILL MASTER

1.12	SITE LIGHTING (BUILDINGS)
2.06	ROOF (COMMUNITY BUILDING)
2.07	GUTTERS AND DOWNSPOUTS (COMMUNITY BUILDING)
2.08	ROOF VENTS (COMMUNITY BUILDING)
3,03	WINDOWS
3.07	UTILITY DOORS (WH CLOSETS)
3.09	PAINTING (EXTERIOR)
3,15	ATTIC VENT
3.16	FIBER CEMENT BOARD SIDING (COMMUNITY BUILDING)
3.17	DOORS (COMMUNITY BUILDING)
3.18	WINDOWS (COMMUNITY BUILDING)

COLOR LEGEND

WA

WEIR ANDREWSON

ASSOCIATES, INC. ARCHITECTS & ENGINEER

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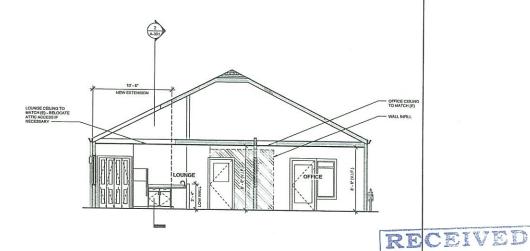
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MARK	DATE	DESCRIPTION
	02/06/19	DESIGN REVIEW

Author 18011.00

COMMUNITY BUILDING ELEVATIONS





GENERAL SHEET NOTES

- REFER TO SHEETS A-004, A-005 & A-006 FOR TASK NOTES.
- 2. REFER TO SHEET A-007 FOR UNIT MATRIX.
- REFER TO SHEET A-601 FOR SCHEDULES.
- REFER TO SHEET A-701 FOR TYPICAL SITE ACCESSIBLE ITEMS.
 REFER TO SHEET A-702 FOR TYPICAL SIGNAGE REQUIREMENTS.
- REFER TO SHEET A-702 FOR TYPICAL FIXTURE & ACCESSORY
- REFER TO SHEET A-704 FOR TYPICAL KITCHEN DIMENSIONS,
- REFER TO SHEETS T24.1 & T24.2 FOR ENERGY REQUIREMENTS.
- REFER TO CIVIL SHEETS FOR SITE WORK.
- REFER TO MECHANICAL SHEETS FOR MECHANICAL WORK.
- REFER TO PLUMBING SHEETS FOR PLUMBING WORK,



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SHEET TASK NOTES

FEB 0 7 2019

BY:

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GRAVENSTEIN APARTMENTS -COMMUNITY BUILDING

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APN 06-025-071, -072, & -073

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	02/06/19	DESIGN REVIEW	

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JOB NUMBER:	18011,00

SHEET TITLE

COMMUNITY BUILDING SECTIONS

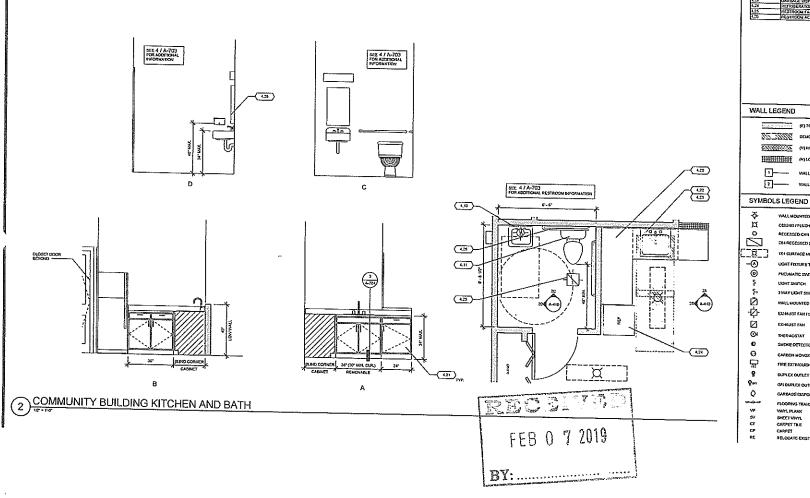
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GENERAL SHEET NOTES

- REFER TO SHEETS AGO, A GGS & A GGS FOR TASK HOTES.
- REFER TO SHEET A OUT FOR USET MATRIX.
- A REFER TO SHEET A-405 FOR SCHEDULES.
- REFER TO SHEET A 701 FOR TYPICAL SITE ACCESSIONE HEMS.
- refer to sheet a test for typical exchange regulated fits REFER TO SHEET A-702 FOR TYPICAL FIXTURE A ACCESSORY DISENSIONS.
- REFER TO SHEET A JOH FOR TYTYCAL KITCHEN DIMENSIONS.
- REFER TO SHEETS TICH A TITLE FOR EMERGY REGUMEMENTS.
- REFER TO CAVE SHEETS FOR SITE WORK.
- REFER TO MECHANICAL GREETS FOR MECHANICAL WORK
- 11. REFER TO PLUMENO SHEETS FOR FLUMENO WORK,

SHEET TASK NOTES

WALL LEGEND

DESIGN DESIGN

WALL TYPE 1, SEE DEYAR, 1 / A-502 VALL TYPE 2 SCEDETAR 4 / A-S02

WALL MOUNTED LIGHT

RATHEROM ESPEC AND PAUCET RESTRECOM I CONTROL TO SET TO SE



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996 A Street, Sulla 202 Son Robel, CA 94901 Tr.4 I S. 485.9797 1:415,485.9799 WWW. WASSEDC. COM



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699 GRAVENSTEIN HWY'N SEBASTOPOL, CA 95472

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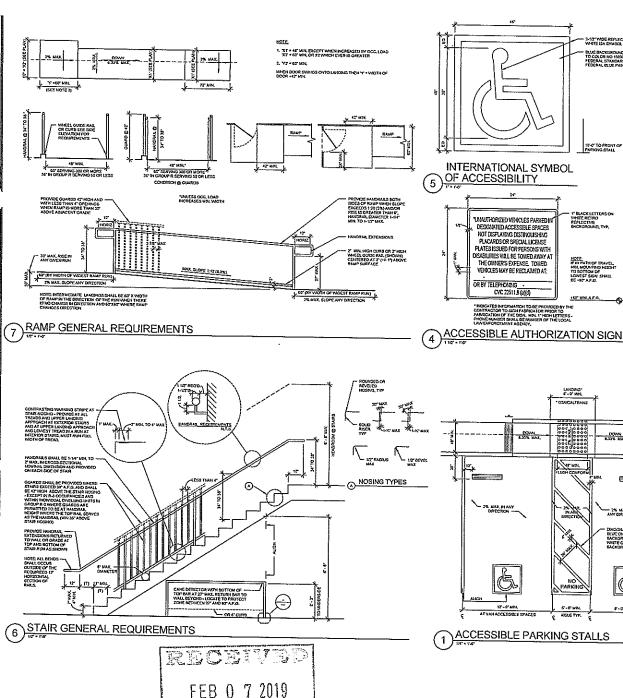
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0	SMOKE DETECTOR
ø	CARBON MONOXIDE DETAKLARM
	FINE EXTRIGRESHER CARNIET
õ	DUPLEX OUTLET
Š≈ı	CAL DUPLEX COLLET
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Indian.	FLOORING TRANSITION
VP	VPPYL PLANO(
5 V	SEETVIM
CT	CARPET TILE
CP	CARPET

RELOCATE EXISTRA

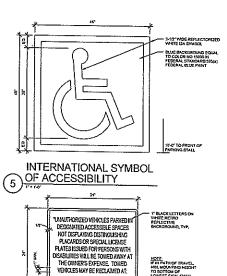


COMMUNITY BUILDING





BY:



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* GSACALTRAN

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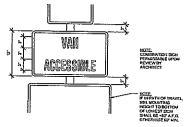
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DETAILS 1, 6 AND 7 ON THIS SHEET SHOW GENERIC REQUIREMENTS FOR THE ELEMENTS SHOWN, DETAILS MAY SHOW REQUIREMENTS BEYOND INTENDED PROJECT SCOPE. SEE TASK NOTES FOR SPECIFIC SCOPE LIMITS APPLICABLE TO THIS PROJECT

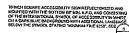


ACCESSIBLE PARKING STALL SIGN



2 VAN ACCESSIBLE STALL SIGN

_5% MAX



COM SHALL ARREST OF STATE STATEMENTS AND STATEMENT OF STA

"DMAUTHORDED VEHICLES PARKED IN ECSIONATED ACCESSIBLE EPACES NOT DEPLAYING DISTINGUISHING PACAMES OR SPECIAL INCLUSE PARKES SOURCE FOR PERSONS VITH DEPARTIES WALL SE TONGO ANNY AT THE OWNER'S EXPOSE. OWN OF METALLIED AT

ACCESS ASSLE - CUTENS IN BLUE WITH DIAGONAL HATCH ACCESS ASSLE - CUTENS IN BLUE WITH DIAGONAL HATCH

THO PARISHOT STENCAED IN YARTE 17" WISH, HIGH LETTERS VAKEL STOPS SET IN ADMEST/E AND WITH (7) AS REDAR PINS INTO PAYED SURFACE

CURB RAMP AND WALKWAY INDUCTOR BETT PRESENT.

IT DETECTABLE ZONE OF UP DEEP GROOVES & 34F O.C. LOCATED WITHOU LEVEL LANCONG AT TOP OF RALP.

FOR DETECTABLE WARRIENS REQUIREMENTS SEE CSC SECTION 118-703.1

W

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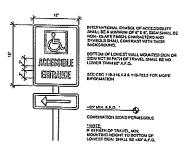
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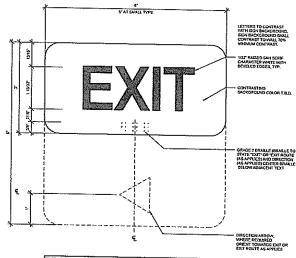
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-4

TYPICAL ACCESSIBLE SITE ITEMS



(5) ACCESSIBLE ENTRANCE LOCATION SIGN



TACTILE EXIT MICHS SHALL BE REQUIRED AT:	SIGN SHALL READ
GRADE LEVEL EXIT DOOR	CXIT
DOOR LEADING TO GRADE LEVEL EXIT DOOR WA RAUP OR STAIRS	(AS APPROPRIATE EXIT STAR DOME EXIT RAMP DOME EXIT STAR UP EXIT RAMP UP
DOOR TO EXIT ENCLOSURE THAT DOES NOT UTBIZE RAMP OR STARS	EXIT ROUTE
EXIT ACCESS DOOR PRON INTERIOR ROOM OR AREA	EXIT ROUTE
EXIT DOOR THROUGH A HORIZONTAL EXIT	TOEXIT

SIGN SHALL BE LOCATED ON LATCH SIDE OF A ENGLE DOOR, ON THE ACTIVE LEAF OF A PART OF DOORS WIGHE ACTIVE SEAF, OR TO THE BIGHT OF A PART OF ACTIVE DOORS.

2. FOR ADDITIONAL REQUIREMENTS SEE CBC 10124 & CBC 118-723

ACCESSIBLE ENTRANCE SIGN TACTILE EXIT SIGNAGE

SEE CBC 115-703.7.2.1 FOR MORE

FEB 0 7 2019

BY:

1. REFER TO SIGNAGE PLANS FOR SIGN LOCATIONS.

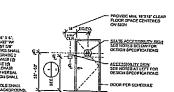
2. REFER TO THE FOLLOWING CBC SECTIONS FOR SIGNAGE REQUIREMENTS - 11B-703.5, TYP.

1009,10 DIRECTIONAL SIGNAGE TACTILE EXIT SIGNAGE FLOOR IDENTIFICATION SIGNS 1013.4 TACTILE IDENTIFICATION SIGNS AT STAIRWAYS 1023 9 11B-703 SIGNS AND IDENTIFICATION

3. REFER TO THE FOLLOWING ADA SECTIONS FOR SIGNAGE REQUIREMENTS.

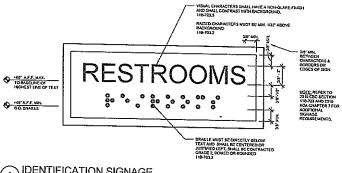
CH.7 COMMUNICATION ELEMENTS AND FEATURES SIGNS

DIRECTIONAL SIGNAGE



STATE ACCESSIBLITY OWN

PUBLIC TOILET ROOM SIGNAGE



IDENTIFICATION SIGNAGE



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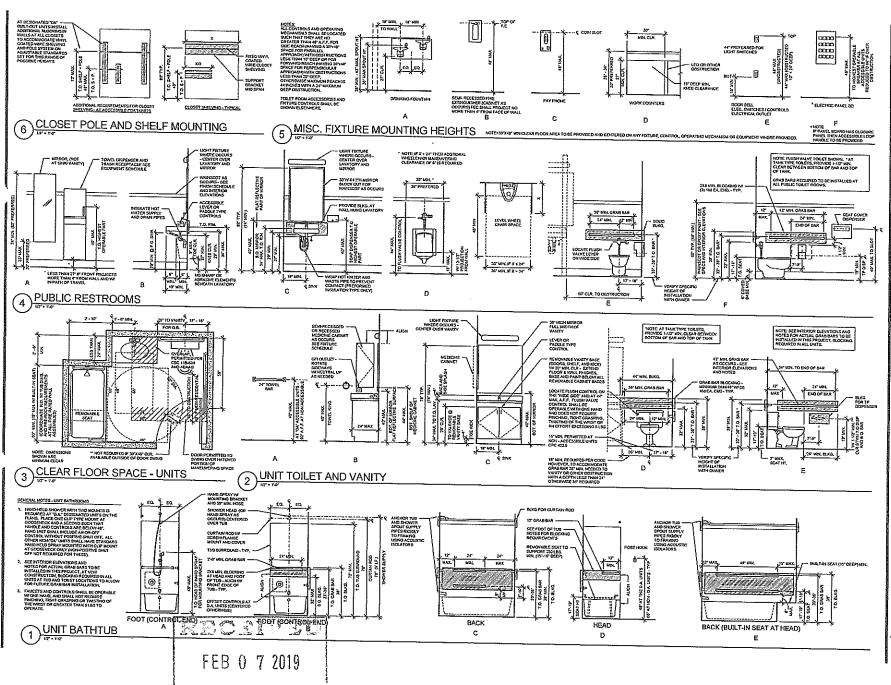
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SIGNAGE



BY:



WEIR ANDZEWSON ASSOCIATES, INC. ACCORDES & EXCHERT

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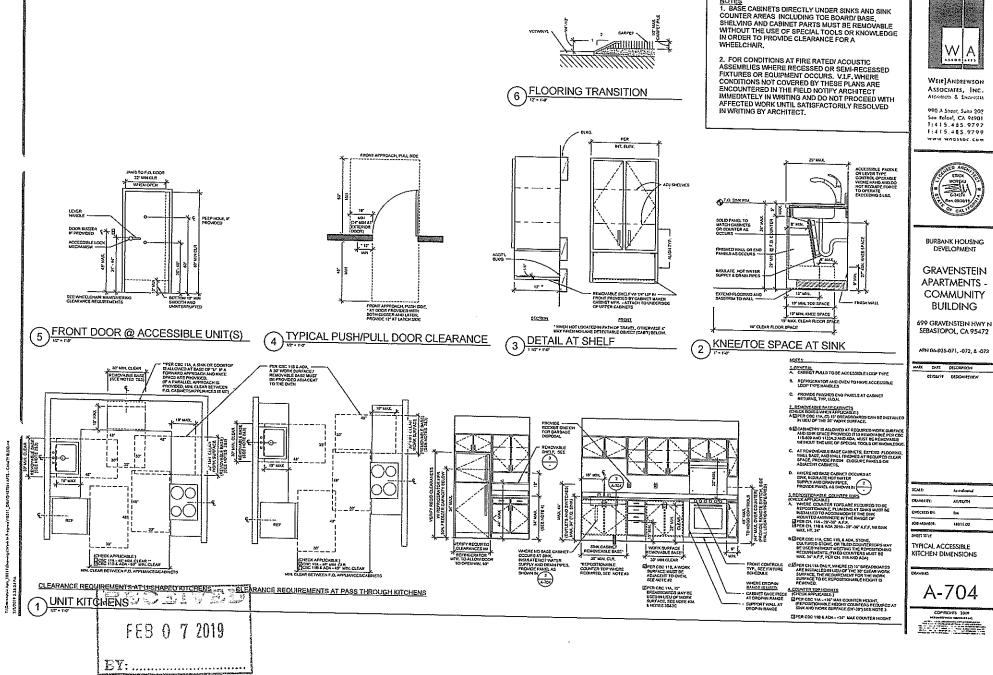
अध्या गर्

TYPICAL FIXTURE AND ACCESSORY DIMENSIONS

DEAVIDE

A-703

COPYECHTS 2019
WERMENTSON GROUPE INC





PRELIMINARY
NOT TOR CONSTRUCTOR
OJ (08/2019
CHAND E, CANDID

GENERAL HOTES

ALL MATERIAL, MORNAMONIP AND CONSTRUCTION SHALL CONSORM TO THE STANDARD PLANS AND SPECIFICATIONS OF THE CITY OF SEASOFOR.

THE LOCATION OF THE CESTING UNCONSCIOUS WILLIES SHOWN ON THESE RAMS AND ARMS OF INFORMATION OF THE CENT OF THE CENTRAL OF T

UNDERGROUND SERVICE ALERT (USA). CALL TOIL-FREE 1-800/642-2444 AT LEAST 45 HOURS PRIOR TO MAY EXCAVATION.

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FROM THE CITY OF

THE CONTRACTOR BHALL SECURE AN ENCHOROPHENT FROM THE STATE OF CALEFORNIA DEPARTMENT OF TRANSPORTATION FOR ALL MORK TO BE DONE WETHIN THE STATE RIGHT-OF-MAY.

ALL MOSK AND COUPPLENT SMALL COMPLY WITH THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY REQUIREMENTS.

THE CONTRACTOR SMALL SE RESPONSIBLE FOR ALL DUST AND DEBMIS CHEATED THE CHIT WESTINGS THAT THE SITE AS THE CHIT WISHINGS THAT THE SITE AS THE CHIEF AND THE CHIT WESTINGS THE CHIEF AND THE CHIEF AND

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TRAFFIC CONTROL AT

VARIANCES FROM CITY STANDARDS ON FROM THESE PLANS REQUIRE THE PRIOR BRITTEN APPROVAL OF THE CITY ENGINEER.

CITY EXGINEER SHALL HAVE 24 HOURS ASSAUCE NOTICE OF ANY REQUESTED INSPECTION.

THE CONTRACTOR CHALL BE RESPONSIBLE FOR PROTECTING EXISTING FACILITIES AND IMPROVEMENTS FROM CHANGE RESULTING FACIL HIS HORK. ANY CHANGE BHALL BE REPAINED AT THE CONTRACTOR'S EXPENSE.

THE COMINACION SHALL HOTIFY ADJOINING PROPERTY CHNERS 24 HOURS IN ADVANCE DY ANY WORK BEING PERFORMED ON OFF-SITE PROPERTIES.

ALL EARTHMORE AND GRADING SHALL COURTY WITH CHAPTER IS AND APPENDIX J_{\star} OF THE CALIFORNIA BUILDING CODE AND ANY FIRSTHER RECOMMENDATIONS MADE BY THE SOULD ENGINEER CHARING CONSTRUCTION.

THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONTRACTOR THAT HE REQUIRED TO A GRANE CONTRACTOR THAT HE REQUIRED TO A GRANE CONTRACTOR OF THE CONTRACTOR OF

THE CONTRACTOR SHALL DEFEND, INSIGNIFF AND HOLD THE GINER AND ENGLISHER MANALESS FROM ANY AND ALL LIABILITY REAL OR ALLEOS IN CONCERTION HIT THE FERENCEMBER OF FROM IN THIS PROJECT, EXCEPT FOR THE GINER OR STATE OF THE PROJECT OR SOLE MERITGENCE OF THE CHARLEST AND THE PROJECT OR SOLE MERITGENCE OF THE CHARLEST AND THE STATE OF THE CHARLEST AND MEMBERS.

A GRADING PERMIT BANKL BE OUTSINED BY THE CONTRACTOR FROM THE CITY OF SERASTOPOL BUILDING DEPARTMENT PRIOR TO ANY GRADING WORK BEING DOME.

ANY DISCREMANY DISCOVERED BY THE CONTRACTOR IN THESE PLANS OR ANY FIELD CONSTITUTES DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OSSITIANCE THE PROPER COMPRETED OF THE MOOK IN ACCORDANCE THIS THE PLANS DALKE SE SOCIETY TO THE ATTENTION OF THE CHAINESS AND THE CORE MADERIAL PROPERTY DISCOVERY. ACAD OSTITUTION DELAY EST WHITTEN.

THE CONTINUED SHALL INDEPENDENTLY REVIEW ONCORD, TOPOGRAPHY, AND THEE CONSTITUTION THROUGHOUT THE SITE, AND ASSURE MINELY AND UNCONDITIONALLY THE RESEARCH THROUGHOUT THE SITE OF COMPLETION THE MINE SET OUT OF THREE PLANS, REDAKCIESS OF ROCK, WATER YOUNG, OF OTHER CONSTITUTION WHICH THE CHIRACTER WAS TRANSMITTED.

THE CONTRACTOR SHALL NOT REGIN EXCAVATION UNTIL ALL EXISTEND UNTILITIES HAVE BEEN MARKED IN THE FIRMS BY THE APPLICABLE EVITY RESPONSIBLE FOR THAT FAITHCREAR UTILITY. THE CONTRACTOR SHALL RUTHLY EACH APPLICABLE ENTITY AT LEAST OF HORS SETTING STATING DORS.

THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES AS A FIRST GROCK OF BOOK, INCLUDING SENER AND STONE DEALES, TO VERIFY DESIGN ASCENTIONS AND EXACT FIELD LOCATION,

EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVINGING MAY REQUIRE GRADE OR ALIGNAENT REVISION DOE TO FIELD CONDITIONS.

THE CONTRACTOR SMALL RECOGNIZE THAT UNDERGROUND FACILITIES NOT SHOWN AS COVER INFROMMENTS (POSE, TELEPHONE, TELEVISION, TRAINATION, ETC.) THALL BE CONDINATED AND CONSTRUCTED PRIOR TO PLACEMENT OF BASE ROCK AND PAYING.

PECLAME AND FIRETURE EXISTING SERVEY WORMENTATION MILDS WILL, SE DISTURBED ON REGOVED TO FACILITATE THE PROPOSED DEMONSTRAINS, IF SOME WILL DECONOCITIES THA MAKE AUTOR MEDIAL TO ME DISTURBANCE OF A CONTROL OF THE PROPOSED THAT AND ADMINISTRATION PRIOR TO DISTURBED AND ADMINISTRATION OF A LICENSE OF A LICENSE OF A LICENSE OF A DISTURBED AND ADMINISTRATION PRIOR SERVICE OF ADMINISTRATION AND ADMINISTRATION PRIOR SERVICE OF ADMINISTRATION AND ADMINISTRATION PROPOSED THAT ADMINISTRATION PROPOSED THE ADMINISTRATION PROPOSED THAT ADMINIST

TOPOGRAPHIC INFORMATION SHOWN HIREON WAS MAPPED BY BKF ENGINEERS FOLLOWING A FIELD SURVEY ON JULY B, 2018.

THEE THURK DIRMETERS ARE APPROXIMATE AND TERE MEASURED AT CHEST RELIGHT (48"s). COMMUTE A CHRISTIED THEE ARGORIST MICH IT IS NECESSARY TO ACCURATELY DETERMINE PERTINENT THEE INFORMATION.

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND CO NOT CONSTITUTE A FORMAL BOLKDARY DETERMINATION.

TELEPCRARY BENCHMARY: SCRIBED "X", LOCATION SHOWN MEREON, ELEVATION DOG. SE (DATUM: NAVO BE BY GPS OBSERVATION).

SASIS OF BEARINGS: MAP OF VISTA DEL SOL SURDIVISION, 610 MAPS 47-50.

EROSION AND SECTIMENTATION CONTROL NOTES

LAGE, MANIES OF SCIDICHT MY LEGER THE STOW DRAW SYSTEM WERE STORING AND AN ARCHITECTURE OF WERE CONTINUED FOR THE UP DESCRIPTION OF WERE CONSTRUCTOR THE WERE STORE DRAW TISSES OF A WARD CONSIST OF LEGERAL SOLIENT LAGGING THE STORE DRAW TISSES OF LOGAL AND LOGA A MUCH AS THE WARD STORE OF THE STORE DRAW TISSES OF LOGAL THE THE WARD AND A WARD AND A WARD TO THE STORE DRAW THE WARD AND A WARD AND A WARD TO THE WARD AND A WARD AND A WARD AND A WARD A WARD AND A

NO MATER SHALL BE ALLOWED TO GRAIN DIRECTLY INTO EXISTING UNDERGROUND STORM SYSTEM REFORE AN ON-SITE SILT CONTROL SYSTEM IS INSTALLED.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING MATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING HECESSARY EROSTON CONTROL ACTIONS.

THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE EXPRERS ABOUT THE MAJOR PROVISIONS OF THE EPOSION AND SECRETAL CONTROL PLAN AND SEEK THEIR COOPERATION IN ANDIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

CONTRACTOR SHALL BE AVAILABLE TO REVIEW GRADING ACTIVITIES AND EXCELLED CONTROL PLAN WITH CITY INSPECTOR REENLY DURING THE GALDING

CONTRACTOR BUAL BE IN COMPLINCE BITH MATIGMA PERLUTANT DISCUSSED CALLESTANCE BY THE CONTRACT OF THE WATER GROWN CONTRACT FOR THEM WATER GROWN CONTRACT OF THE WATER GROWN CONTRACT OF THE CONTRACT OF CONTRACT OF

CONTRACTOR SHALL BE RESPONSIBLE 24 HOURS A DAY TO BE ABLE TO INSTALL EROSION CONTROL DEVICES IN DASE OF RAIN ON INCLEMENT MEATINGS.

BETREEN OCTOBER IS AND APRIL IS, ALL PAYED AREAS RILL DE KEPT CLEAR OF EARTH MATERIAL AND DEBRIG. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEQUENT LAURN RUNGEF LEAVES THE SITES.

DURING THE MAINY SEASON (COTOBER 15 TO APRIL 15), ALL SEDIMENT BASRIESS ART TO BE INSPICUTE AND REFAIRED AT THE END OF EACH ROPCING ONY ARD, IN ADDITION, AFTER EACH STORM, SEDIMENT SHALL BE REMOVED AS REEDED AND FILTERS CLEANED OR REFLACED.

CEDIMENT MASINS ON FILTMATION SYSTEMS CHARL SE USED TO EXCURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS THE SAME COULTRY AND CHARACTER AS THE WATER ABOVE THE SITE.

SECTION BARGERS SHALL BE CHECKED FOR SECTION ACCUMANATION BEFORE, DURING AND AFTER EACH SECRIFICANT MAINFALL AND SECTIONS SHALL BE REMOVED AS REFERD AND FILTERS CLEANED OR REPLACED.

all erosion control measures shall be maintained until disturbed Areas are stabilized, STABILIZED AREAS ARE TO BE REPAIRED AS 2004 AS POSSIBLE AFTER BEING

BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE WIND AND EROSION CONTROL MEASURES TO THE SATISFACTION OF

THE CITY INSPECTOR. ALL GRADIO ON DISTURGED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADINS IS COMPLETE.

EMPHANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLORING OF SECTION 1 INTO PUBLIC REDIT-OF-WAY.

ALL SEPTIMENT SPILLED, DEOPPED, BASHED OR TRACKED CHIO PUBLIC REGIT-OF-MAYS SHALL BE REMOVED INVESTIGATIVE.

MEN NECESSARY, INVESTS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF MUSIC REGIST-OF-MAYS.

THIS PLAN ASSUMES INSTALLATION OF STORM DRAIN IN PLACE.

CAMING AREAS SHALL BE SEEDED FOR ERCTION CONTROL WITH MATIVE GRASS SEED AT THE MATE OF 75-100/LDS, FTR ACRE. SECOND AREAS SHALL BE INNIBATED TO ENSURE COVER IS ROOTED FRIOR TO RAINY SEASON.

SEED SHALL BE EITHER APPLIED LECHNICALLY OR BY INTOICSEDING, HODGOGEDING REGINES THE APPLICATION OF FIRM AND STRAILTING OR ENACTOR LECHNICAL APPLICATION SHALL ROSIDE ROLLING, TRAPING, ON CHERMIES WORKING THE SEED APPROXIMATELY O.5 INCHES INTO THE TOTOCH.

STABILIZATION OF GRACED AND SCIENCE AREAS 15 TO CONSIST OF A STRAW BRACH APPLIED AT A RATE OF 2 TONS PER ACRE.

STAN MEACH: SHOULD BE APPLIED IN AN EVEN, LANTONN WIGHER, SINKE BY MANO OR BY MEACH ELDRING EXCURPANT). STANN MEACHES MUST BE ANCHORED TO FROTERT THE MEACH FROM BEING BLOW OR MACHED OFF THE SITE. ANCHORAING IS ACHIEVED IN TWO WAYS:

CRIMPING: THE MACH IS AMDIGNED BY RUBNING MEANY DISC WITH FLAT, DULL, SERMAND, LOSSILV-SPACED SULGES DYIR THE MACHED SOIL ON SECRETARY SEALER. EFFECTIVE CITIEWING DEEPER THE MACHE ASOLI 2 IMPORT NOT THE SOLIL WITHOUT COMPLETELY COVERING IT.

TACKING: ACHIEVED USING AN EMALSIFIED ASPINALY OR BINGER EITHER INCOPERMENTLY OF FOLLOWED BY CHIMPING, STRAM MALCH TO BE TACKED WITH EMALSIFIED ASPINALY AY A PARE OF SOO CALLONS PER ACKE.

WHECHING TO BE APPLIED TO ALL GRADED AND CLEANED AREAS OF THE CONSTRUCTION SITE,

IT IS RECOMMENDED THAT THE CONTRACTOR STORE THE EROSION CONTROL MATERIAL ON-SITE PRIOR TO THE COTOMER IS DATE SUCH THAT IT IS INSECURITY AVAILABLE IN AN EARLY ACH STUMPTION.

ALL LOOSE SUIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STABILIES OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE

ALL BASIES AND CHECK DAYS SHALL BE PLATED DRY AND ALL DEBAIS AND SILT REMOVED WITHIN 24 HOURS AFTER EACH STORM.

CARING THE RAIMY SEASON, ALL PAVED AREAS SHALL BE VEPT CLEAN OF EARTH MATCRIAL AND OCERTS. THE SITE WILL BE MAINTAINED SO THAT A MINIMAN OF SCOIMENT-LACEN RUNGEF ENTERS THE STORM CRAIMAGE SYSTEM.

AS STORM GRAIN IMPROVIENTS ARE CONSTRUCTED, ALL STRUCTURES AND IMEET PIEES SMALL BE PROTECTED FROM INFLOW OF SILT IMPOUND METHODS RECOMMENDED ON THIS FLAN. ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MID, SILT. CONTRACTOR IS RESPONSIBLE TO INSPECT AND MAINTAIN ALL VEHICLES AND MEANY EQUIPMENT PREDIENTLY FOR LEAKS.

CONTRACTOR SHALL DESIGNATE CHE AREA OF THE SITE, ARMY FROM STORM CRAIN FACILITIES OF STORM CRAIN DRETS, FOR AUTO AND ECONOMICH PARKING AND ROUTINE VEHICLE AND ECONOMETH MAINTENANCE.

CONTRACTOR SHALL NOT DIALN AND REPLACE WITCH DIT. AND/AIDT COCLART OR REPLACE WITCH OUT OF THE REPLACE WITCH OUT OUT OF THE REPLACE WITCH OUT OUT OUT OUT OUT OUT OUT OUT O

STREEF UP SPILLED DRY MATERIALS IMMEDIATELY. KEVER ATTEMPT TO TRASH THEM ANALY WITH WATER OR BURY THEM. USE CRLY MINIMAL TRAFF FOR GUST

CLEAN UP SPILL ON DIRT AREA BY DISGING UP AND PROPERLY DISPOSING OF CONTAMINATED SOIL.

CLEAR UP LIGHTO SPILLS OR PAYED OR EMPERGEASTE SURFACES USING "ORYCLEAR UP METHODS (ASSOCIATENT MATERIALS, CAT LITTER, AMBJOR RASS). REPORT SIGNIFICANT SPILLS TO THE APPROPRIATE SPILL RESPONSE ASSICIES

CONTRACTOR TO STORE STOCKPILED MATERIALS, MASTE, CONTAINER, AND DEPSTERS UNDER TEMPORARY ROOF OR SECURED PLASTIC EXCETING.

PLASTER OR OTHER PORDERS CAN CREATE LANGE COMMITTEES OF SUPPLICED SOLITOS IN RANGEF, BRICOS MAY DE TOXIC TO ACCUSTIC LIFE AND CAUGE SERVICE SAVINGACIENTA MAN EARLY IF THE METERIALS AND LIBERT, STORE ACL SIGN PRINTENDALLY POLITICAS DEF MATERIALS, EXPECTALLY OFFE MANS, INC. SIGN PRINTENDALLY POLITICAS DEF MATERIALS, EXPECTALLY OFFE MANS, INC. SIGN PRINTERS, CONTINUES, CONTI

PROFESTLY STORE CONTAINERS OF FAIRTS, CHUICALS, SOLVERTS, AND OTHER MEDICACUS MATERIALS IN GRANCES OR SHEES WITH COURSE CONTAINMENT DURING BARRY PERIOCS.

PLACE CLAPSIERS UNDER ROOFS ON COVER THOM WITH PLASTIC SHEETING AT THE END OF EACH WORK DAY AND DURING RATHY WEATHER.

INSPECT DIAPSTERS REGULARLY FOR LEASS AND REPAIR OR REPLACE ANY DIAPSTER DIAT IS NOT MATERITISMY. MEYER CLEAN OUT A DIAPPSTER BY HOSING IT DONN ON THE CONSTRUCTION SITE. RETURN DESPETER TO THE TRASH HAULING CONTRACTOR FOR CLEANING.

AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE ON COMERT ON-SITE.

STONE DRY AND BET MATERIALS LINDER COVER, PROTECTED FROM RATHWALL AND REMOFF. EMBINUT CONCRETE MIXERS ONLY IN DESIGNATED MASHOUT AND MERE THE BATCH DILL FLOW INTO SETTLING POORS ONTO DIRT OR STOCK PIECE OF ADDRESATE AND SAMD, MEREVER POSTRER, RECYCLE MANDET BY FARFING DACK 1970 MIXERS FOR RELES. MEYOR DISPOSE OF MASHOUT INTO STREET, STOWN ORANG, DAILINGS OTTOMS, OR STREAMS,

CONTRACTOR SHALL MAINTAIN PORTMANE TOILETS IN GOOD ROWKING ORDER, COMPACTOR SHALL INSPECT VISUALLY FOR LEASS. BE SOME THE LEASING COMPANY ACCOUNTERY MAINTAINS, PROMPTLY REPAIRS, AND REPLACES UNITS, AS MEEDED.

CLEMED VECTATION, THEE THINSINGS, AND OTHER PLANT WATERIAL SHOULD NEVER BE PROVIDE HER A CREEK OR STRAM OR LEFT IN ROUMEN MORE! I NO NOTICE MANUEL SUCJESTICATED HER AND STRAM OR LEFT IN ROUMEN MORE! I NO NOTICE LABORITATION FOR THE ADMINISTRATION OF STRAM, DECOMPOSING WORLD HE A CREEK OR STRAM, DECOMPOSING WORLD HE CREEK MAINLEAST TO ADMITTE LIFE.

DO NOT DISPOSE OF PLANT MATERIAL IN TRAZH COMPOSERS OR MIX IT WITH OTHER WASTES. CHIP, IF MCCESSARY, AND COMPOSE OR TAKE IT TO A LANGEFILL THAT COMPOSES YAND WASTE.

CONCRETE DEBRIS FROM CONCRETE STRUCTURES AND EXCHEN PAYEMENT SHOULD BE RECYCLED AND NOT MINED WITH OTHER DEBRIS.

DESAIS FROM OTHER STRUCTURES (MODO) OR OTHERS EMPLO BE CONFINED TO DAMPHERS, COVINED AT MIGHT OR CURING THE WET WEATHER, AND TAKEN TO A LANGFILL FOR RECYCLING OR DISPOSAL.

HAZARDOUS DEERIS SUCH AS ASSESTED WIST BE MARGLED IN ACCOMPANCE WITH SPECIFIC LARS AND REQULATIONS, AND DISPOSED OF AS A HAZARDOUS WASTE. CONTACT AN ASSESTED REMOVAL SERVICE FOR SAFE REMOVAL AND DISPOSAL.

APPLY CONCRETE, ASPAILT, AND STAL COAT DERING DAY BEATHER, SEE CONTRIBUOUTS FROM SPREED CONCRETE AND ADPAILT OUT OF SIGNAL OADS CREEKS BY SORDELING PAYMED, ASS SERRING PERSONS OF DAY SEADER, MICH. NEW PAYMENT WILL HAVE THE TO CAME BEFORE SIDAU MATER FLOOS ACCOUST.

cover catch basins and mannores when applying seal coat, slurry seal, fog seal, etc.

ALWAYS PARK PAYER OVER CRIP PANS OR ASSORBENT MATERIALS, SINCE THEY TEND TO DRIP CONTINUOUSLY.

SHOVEL ON VACUUM SAN-CUT SLUMBY AND REMOVE FROM THE SITE. COVER OR BARRICADE STORM DRAINS CORENS SAN CUTTING TO CONTAIN SLUMBY.

THEN BREAKING ASPHALT OR CONCRETE, CONTROL EXCESS BUST USING THE SUCLEST AUGUST OF MATER POSSIBLE, CONTROL REMOFF. REMOVE ALL CHANGS AND PIECES FROM THE SITE.

ABBREVIATIONS

THE UT TO SOME OF PRINCIPLE OF ADDRECATE BASE
ASPHALT CONCRETE
AREA BRAIN
ASSISSON'S PARCEL HANGER
BACKFLOW PREVENTER
BUILDING BUILDING CATCH BASIN CLASS II CLEAN OUT CONCRETE DROP INLET DOCUMENT NAMES CALVERAY ELECTRIC FRISTING CAOUSE ELEVATION EDGE OF PAVELENT STANDARD
TUP OF SOY
TUP FACE OF COME
TELECOMMENTICATION LINE
TRANSFORMER
TOP OF GRAFT
TELEVISION
TOP OF SKAL
TYPETOL
UTILITY FOR
VERTICAL
VARIAT EASEMENT EXISTING FIRE DEPARTMENT CONNECTION FINISHED FLOOR FINISHED GRADE FIRE HYDRANT SURFACE FLOORLINE EATE STEAT

COURSE STEAT

COUR A)N BININGS PRI RANGOTE HOM HANGOTE HOM HANGOTE HOM HANGOTE HOM HANGOTE HOM HANGOTE HOM HANGOTE HOM HININGS HOM H VAULT VAULT EATER SATER METER SATER SERVICE VARO DRAIN

SYMBOLS & LEGEND

EXISTING PROPOSED 0 BENCHMAN IRON PIPE CENTERLINE HOMBIENT PACKLICA SMEATHLICH DEALCE ANTAE FIRE DEPARTMENT FIRE HYDRANT LEGHT FOLE STREET SIGN STREET LIGHT CATCH BASIN reit TREE TREE CLUSTER TREE TO BE MENOVED PROPERTY LINE EASTWENT GRADE BREAK FLOW LINE FENCE TREE PROTECTION FENCE

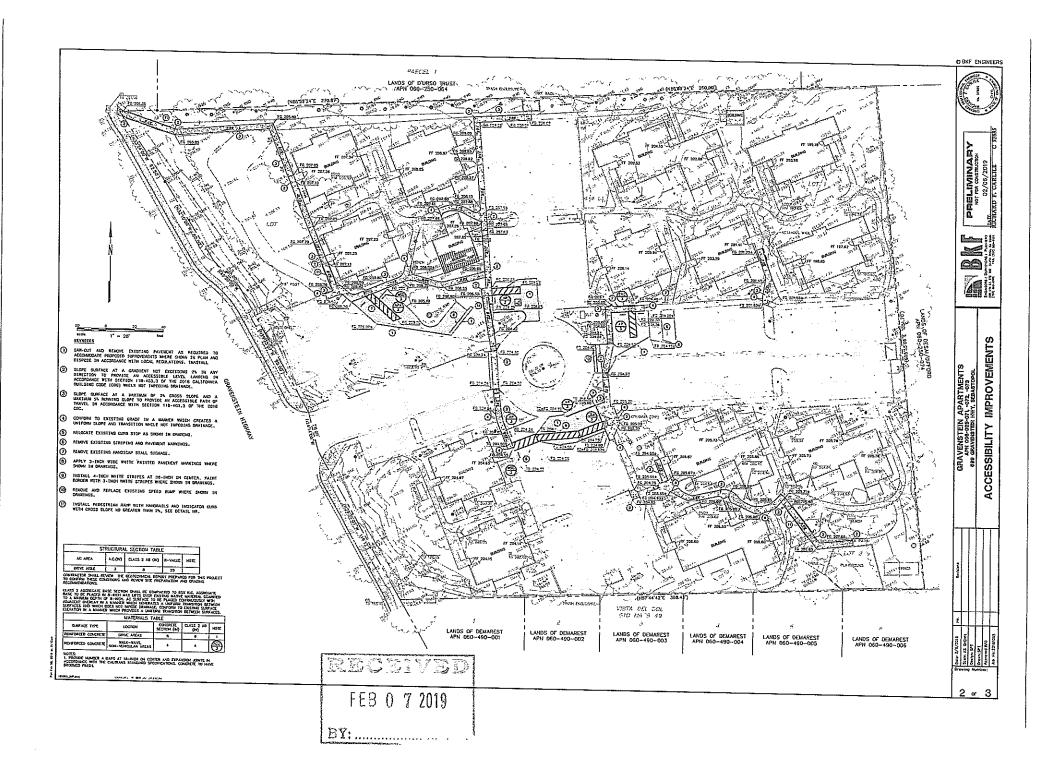
ASPHALT CONCRETE 12 TEUS ENERGY SECTION DETECTABLE WASHING VALLEY GUTTER

0

GRAVENSTEIN APARTMENTS
NO AND GO-STEAT-OFFS.
180 GRAVENSTEIN INN. ESLASTOC.
GENERAL NOTES, LEGEND,
AND ABBREVIATIONS

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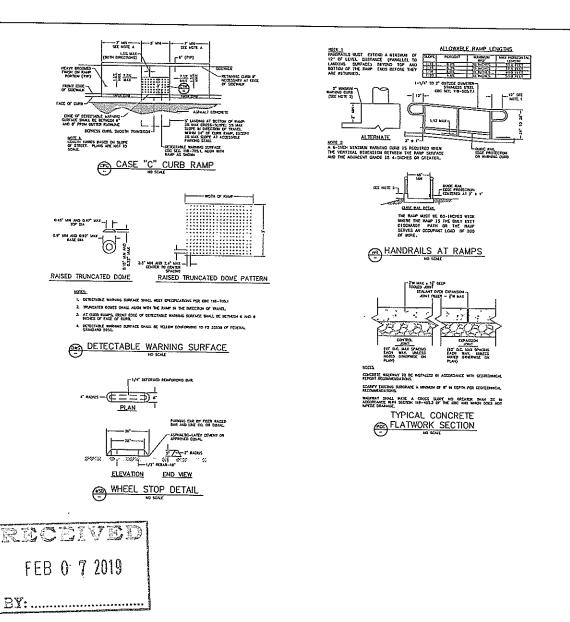


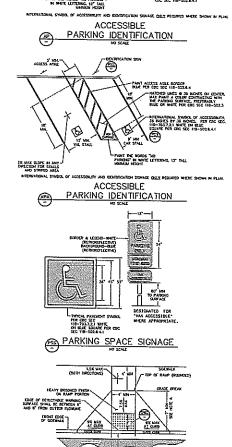
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DETAILS GRAVENSTEIN APARTMENTS
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699 GRAVENSTEN NWY, SERASTOROL

CONSTRUCTION

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- EUR STERNES

CASE "A" CURB RAMP

HERE A UNION WARES BASED ON SECRE OF STREET, PLANS AND NOT TO SOME.

Technacyuch ace

BECKY DUCKLES

CONSULTING ARBORIST & LANDSCAPE ADVISOR

SEBASTOPOL, CA. 707.829.0555 P

ARBORIST'S REPORT

GRAVENSTEIN APARTMENTS 699 Gravenstein Highway North - Sebastopol April 11, 2019

I visited this site on February 20th and April 5th with Kari Svanstrom, Sebastopol Planning Director as well as on April 8th with Volker Strifler, the construction manager for the property owners, Burbank Housing. The purpose of the visits was to discuss their upcoming project, regrading and repaving some parking areas and sidewalks to meet ADA requirements, in regard to potential impact on existing trees.

This site was developed decades ago, with a densely growing landscape of some previously existing coast redwood trees and a giant sequoia as well as many other ornamental trees.

There are two trees potentially impacted by proposed construction. Some roots may be impacted on a large, 54" diameter coast redwood (*Sequoia* sempervirens) and a 24" dbh coast redwood, both near the community building. We have discussed construction details for the repaving which have been incorporated into the construction documents.

During the grading for this work, a monitoring arborist should be present to insure that any excavation is done carefully, exposing any roots which may have to be cut, and supervising any necessary root pruning. Because we don't know the depth, size and number of roots which may be encountered, we will not know until they are exposed which roots can be preserved and which will have to be cut. I will remain in contact with Burbank Housing (and the City of Sebastopol) to insure that the trees and roots are protected, and that any root pruning is done with supervision and evaluation of tree stability and structural soundness.

"Tree Protection Measures:

During demolition or grading or other construction activities within the driplines of protected trees a qualified, certified arborist shall be present to observe the work. Roots shall be carefully exposed, avoiding damaging them. Any roots which cannot be preserved shall be cleanly cut under the supervision of the arborist. If in the opinion of the arborist the number of roots which must be cut significantly compromise the health and structural stability of the tree, they will recommend mitigation procedures or the possible removal of the tree."

Respectfully submitted,

Becky Duckles

Becky Duckles Sebastopol City Arborist ISA Certified Consulting Arborist #WE-0796A